



12 TYPICAL CHIMNEY FLUE
SCALE: NONE



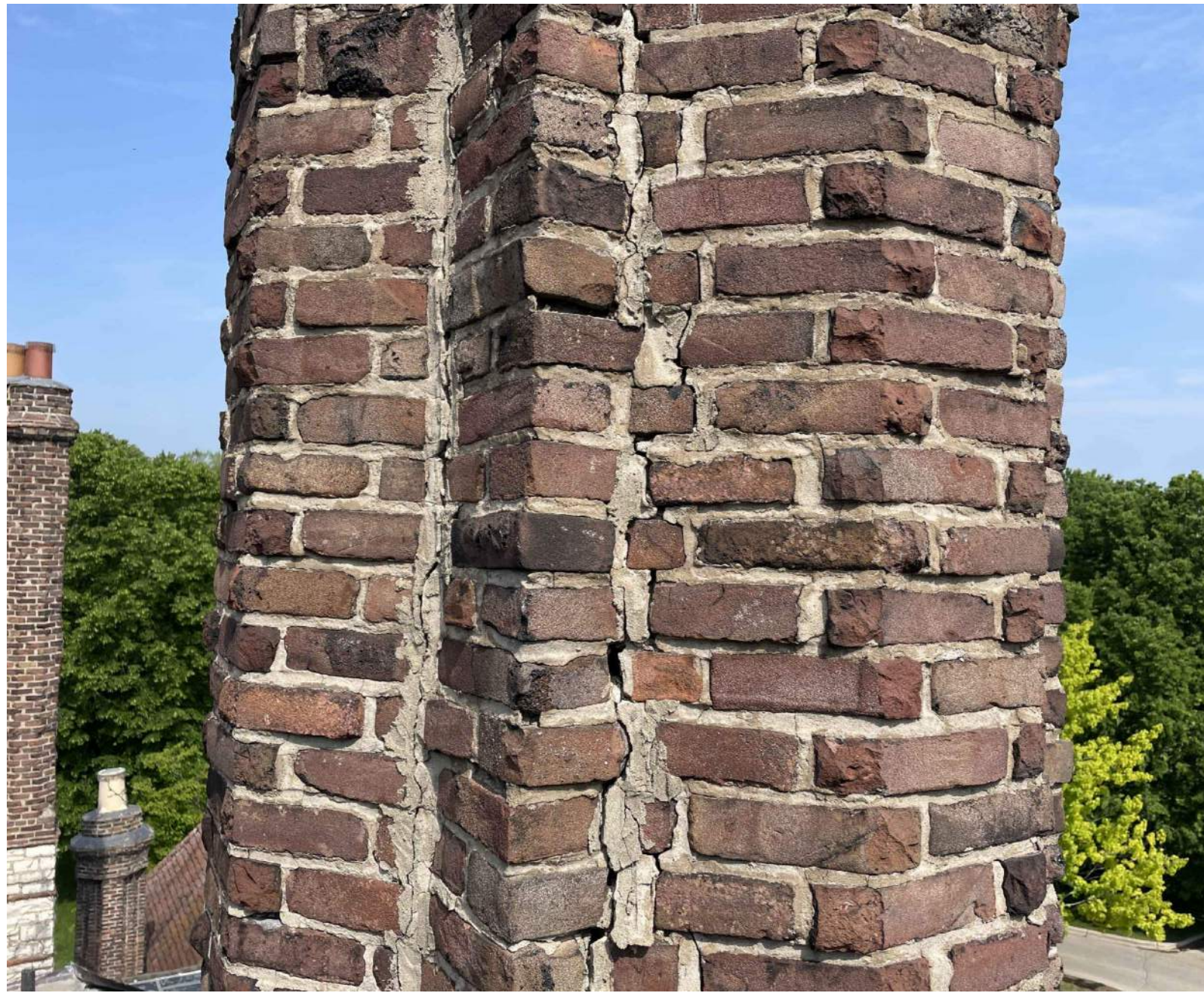
8 EXISTING CLAY TILE ROOF
SCALE: NONE



4 TYP. WOOD WINDOW AT CONSERVATORY
SCALE: NONE



1 AERIAL VIEW OF WEST ELEVATION AT MAIN HOUSE
SCALE: NONE



13 CRACKED CORNER AT CHIMNEY
SCALE: NONE



9 TYPICAL COPPER GUTTER
SCALE: NONE



5 EAST SUNROOM PARAPET WALL
SCALE: NONE



2 SOUTH ELEVATION OF COACH HOUSE
SCALE: NONE



14 STONE KNEE WALL AT COACH HOUSE
SCALE: NONE



10 NORTH COPPER ROOF
SCALE: NONE



6 EAST SUNKEN TERRACE
SCALE: NONE



3 TYPICAL STEEL CASEMENT WINDOW AT MAIN HOUSE
SCALE: NONE



15 WEST STONE SITE WALL
SCALE: NONE



11 NORTH DORMER
SCALE: NONE



7 TYP. VINYL WINDOW AT COACH HOUSE
SCALE: NONE

#	DESCRIPTION	DATE
01	HISTORIC TAX CREDIT	2020.06.05
02	CERT. OF APPROPRIATENESS	2020.06.17

HARLEY CLARKE
MANSSION
REHABILITATION &
ADAPTIVE REUSE

2603 SHERIDAN ROAD
EVANSTON, IL 60201

REVIVE
ARCHITECTURE

1820 Ridge Ave., #101 | Evanston, Illinois 60201
Architectural Professional Design Firm No. 041-000704



CLIENT/OWNER
CELADON CONSTRUCTION CORPORATION NFP

ARCHITECT OF RECORD
ASSEMBLE DESIGN WORKSHOP PLLC

STRUCTURAL ENGINEER
SR+A STRUCTURAL ENGINEERS

MEP/FF ENGINEER
ARCHITECTURAL CONSULTING ENGINEERS

CIVIL ENGINEER
ENGAGE CIVIL, INC.

LANDSCAPE ARCHITECT
HITCHCOCK DESIGN GROUP

HISTORIC PRESERVATION
RAMSEY HISTORIC CONSULTANTS, INC.

FOOD SERVICE CONSULTANT
TRIMARK MARLIN, LLC

LIGHTING DESIGN
MORLIGHTS, LLC

ELEVATOR CONSULTANT
JENKINS & HUNTINGTON, INC.

BUILDING ENVELOPE
REVIVE ARCHITECTURE, LLC

ACCESSIBILITY CONSULTANT
LOW ARCHITECTS

DESCRIPTION DATE

01 HISTORIC TAX CREDIT 2026.06.05

02 CERT. OF APPROPRIATENESS 2026.06.17

PROFESSIONAL OF RECORD

LICENSE EXP: 11.30.2028

PROJECT NUMBER: 250401

SHEET NAME:

SCOPE OF WORK

SHEET NUMBER

R0.02

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BUILDING ENVELOPE REHABILITATION Harley Clarke Mansion - 2603 Sheridan Rd, Evanston, IL. (DATED 06-01-2026)					
ITEM NO.	ITEM DESCRIPTION	EST. QTY	UNIT OF MEASURE	UNIT COST	TOTAL COST
MAIN HOUSE - MASONRY FACADES					
1	Mobilization and General Provisions		LUMP SUM		\$ -
2	Site Protection		LUMP SUM		\$ -
3	Material Testing - Includes existing mortar testing		LUMP SUM		\$ -
4	Mockups - Include material sample / mockups		LUMP SUM		\$ -
SUBTOTAL for Mobilization, General Provisions and Site Protection					\$ -
5 Stone Rehabilitation					
a. Parapet Rebuild					
	i. Remove + reset stone parapet wall down to window head at sunroom. Include resetting of stone copings, corners, watertables and head units. Replacement stone units included separately under Item 3b. Coordinate with roof flashing work. Include stainless steel straps and pins for lateral anchorage		LUMP SUM		\$ -
b. Stone Replacement - Replacement stone to be Lannon or Indiana Limestone (Standard Grade). All repairs to match existing historic stone in color, texture and profile. Masonry to be laterally anchored with stainless steel veneer ties or straps as specified. Assume PCL mortar with 3/4" min. joint depth. Catalogue stone and reinstall in same location where possible					
	i. Header unit replacement	0	EACH	\$ -	\$ -
	ii. Watertable unit replacement	0	EACH	\$ -	\$ -
	iii. Baluster unit replacement	33	EACH	\$ -	\$ -
	iv. Ashlar unit replacement	0	EACH	\$ -	\$ -
	v. Decorative floral unit replacement	5	EACH	\$ -	\$ -
	vi. Decorative pier capital unit replacement	2	EACH	\$ -	\$ -
	v. Curved pier unit at west alcove	2	EACH	\$ -	\$ -
	vi. Coping unit replacement at east sunken terrace	0	EACH	\$ -	\$ -
	vii. Coping unit replacement at west site wall	20	EACH	\$ -	\$ -
	viii. Curved coping unit replacement at west site wall	6	EACH	\$ -	\$ -
c. Stone Repairs - All repairs to match existing color, texture and profile.					
	i. Remove + reset stone units				
	1) Quoin unit at conservatory	2	EACH	\$ -	\$ -
	2) Arched header unit at west entry, south elevation	1	EACH	\$ -	\$ -
	2) Ashlar units at west site wall	35	SF	\$ -	\$ -
	ii. Remove, repair + reset stone west entry header unit. Include installation of s.s. epoxy pins		LUMP SUM		\$ -
	iii. Stone patch repairs. Assume 4" by 4" patch size with Jahn M70 patching material and include stainless steel pins	5	EACH	\$ -	\$ -
	iv. Grind and seal cracks	20	LF	\$ -	\$ -
	v. Grind and seal stone wash joints 100%. Include all copings and watertable units. Assume non-bleed silicone sealant and match existing		LUMP SUM		\$ -
d. Lintel Rehabilitation					
	i. Remove and reset stone units above steel support. Replace lintel with new galvanized angle and install membrane flashing system. Include installation of z-angle clips to existing framing and rebuild backup masonry as required	25	LF	\$ -	\$ -
	ii. Remove and reset stone units above steel support. Clean and paint exposed surfaces of existing steel lintel with epoxy primer and polyurethane topcoat, install fully adhered membrane flashing	50	LF	\$ -	\$ -
	iii. Clean and paint all exposed surfaces of existing steel lintel with epoxy primer and polyurethane topcoat		LUMP SUM		\$ -
e. Stone Repointing - Assume PCL (Type O) mortar with 3/4" min. joint depth and match existing in color, texture and profile					
	i. Grind and repoint Lannon stone masonry joints 100% at conservatory facades		LUMP SUM		\$ -
	ii. Grind and repoint Indiana limestone masonry joints 100% on all facades		LUMP SUM		\$ -
	iii. Grind and repoint west stone site walls 100% on all sides		LUMP SUM		\$ -
	iv. Grind and repoint Lannon stone masonry joints at isolated locations	1500	SF	\$ -	\$ -
f. Stone Cleaning					
	i. Clean masonry on all exterior facades. Assume Enviro Klean 2010 All Surface Cleaner		LUMP SUM		\$ -
	ii. Clean masonry on interior surfaces of conservatory. Assume Enviro Klean 2010 All Surface Cleaner		LUMP SUM		\$ -
	iii. Clean existing stone at west entrance, west site walls and conservatory knee walls to remove organic staining. Assume Enviro Klean ReVive		LUMP SUM		\$ -
SUBTOTAL for Stone Rehabilitation					\$ -
6 Chimney Rehabilitation					
a. Brick Rebuild - All replacement brick masonry to be face brick (Type FBX, Grade SW) and match existing in size, color and texture. Brick to be laterally anchored with stainless steel veneer ties and joint reinforcing as specified. Assume PCL (Type N) mortar with 3/4" min. joint depth					
	i. Rebuild all wythes of masonry at top of all chimneys, approximately 2'-6" in height. Salvage existing brick and roof tiles where possible. Rebuild to match existing pattern and include s.s. joint reinforcing		LUMP SUM		\$ -
	ii. Rebuild corner of brick masonry at vertical cracking on southwest and northeast chimneys. Stabilize surrounding areas as required	150	SF	\$ -	\$ -
	iii. Rebuild outer wythe of brick masonry	100	SF	\$ -	\$ -
	iv. Replace individually cracked brick	30	EACH	\$ -	\$ -
b. Brick Repointing - Assume PCL (Type O) mortar with 3/4" min. joint depth and match existing in color, texture and profile					
	i. Grind and repoint brick masonry	500	SF	\$ -	\$ -
c. Sealant Replacement - Assume non-bleed silicone sealant and match existing materials in color and texture					
	i. Grind and seal vertical joints at re-entrant corners at all chimneys		LUMP SUM		\$ -
d. Metal Cap Installation					
	i. Cut existing chimney flue, infill opening and apply fully adhered membrane flashing. Install new prefinished stainless steel cap, custom fit to chimney footprint		LUMP SUM (Includes All Chimneys)		\$ -
SUBTOTAL for Chimney Rehabilitation					\$ -
7 Allowances					
	a. Masonry Allowance		ALLOWANCE		\$ -
	b. Interior Finish Allowance		ALLOWANCE		\$ -
	c. Structural Allowance		ALLOWANCE		\$ -
SUBTOTAL for Allowance					\$ -
TOTAL ESTIMATED CONSTRUCTION COST for Masonry Facades					\$ -
ALTERNATE ITEMS					
A	In lieu of capping chimneys, repair mortar wash and apply reinforced PMMA waterproofing membrane		UPCHARGE / DEDUCT to Item 6.a.ii		\$ -
B	Replace decorative floral unit with custom concrete mix (J.E. Tomes Tintcrete or similar) to match existing		UPCHARGE / DEDUCT to Item 5.b.v		\$ -
C	Grind and repoint brick masonry at all chimneys 100%		LUMP SUM		\$ -
TOTAL ALTERNATE COST for Masonry Facades					\$ -

BUILDING ENVELOPE REHABILITATION Harley Clarke Mansion - 2603 Sheridan Rd, Evanston, IL. (DATED 06-01-2026)					
ITEM NO.	ITEM DESCRIPTION	EST. QTY	UNIT OF MEASURE	UNIT COST	TOTAL COST
MAIN HOUSE - WINDOWS					
1	Mobilization and General Provisions		LUMP SUM		\$ -
2	Site Protection		LUMP SUM		\$ -
SUBTOTAL for Mobilization, General Provisions and Site Protection					\$ -
3 Window Rehabilitation					
At all window locations where applicable, include removal and disposal of all existing interior storm windows					
a. Steel Casement Window Rehabilitation					
	i. Restoration of steel casement frame and sash. Include removal and reinstallation of sash for shop restoration, frame to be restored in-situ. All steel surfaces to be cleaned, primed and coated. Glass to be cleaned and reinstalled, replace as required. New perimeter sealant to be installed (Qty: 104)		LUMP SUM		\$ -
b. Leaded Glass Casement Window Restoration					
	i. Restoration of steel casement frame and sash. Include removal and reinstallation sash for shop restoration, frame to be restored in-situ. All steel surfaces to be cleaned, primed and coated. Glass to be replaced with new 1/4" laminated, clear glass with new coming to match historic profile. New perimeter sealant to be installed (Qty: 8)		LUMP SUM		\$ -
c. Steel Hung Window Rehabilitation					
	i. In-situ restoration of steel hung windows. All steel surfaces to be cleaned, primed and coated. Glass to be cleaned and reinstalled, replace as required. New perimeter sealant to be installed (Qty:7)		LUMP SUM		\$ -
SUBTOTAL for Window Rehabilitation					\$ -
4 Storm Window Installation					
a. Magnetic Aluminum Storm Window					
	i. Install new magnetic aluminum fixed storm window at all steel casement and leaded glass windows (Allied Monumental or similar)	112	EACH	\$ -	\$ -
b. Custom Wood Storm Window					
	i. Install new stained custom wood fixed storm window	0	EACH	\$ -	\$ -
SUBTOTAL for Storm Window Installation					\$ -
5 Window Replacement					
a. Steel Casement Window Replacement					
	i. At modified locations where window cannot be restored, install new Hopes steel casement window with insulated glass to match existing as	0	EACH	\$ -	\$ -
b. Steel Hung Window Replacement					
	i. At modified locations where window cannot be restored, install new Hopes steel hung window with insulated glass to match existing as closely	0	EACH	\$ -	\$ -
SUBTOTAL for Window Replacement					\$ -
6 Wood Trim Restoration					
	i. Clean and paint all existing wood trim. Remove all existing coatings and stains. Repair damaged wood and recoat with 3-coat system including primer and two topcoats		LUMP SUM		\$ -
	ii. Replace damaged wood sill with new hardwood sill. Assume entire width of window for replacement piece	30	EACH	\$ -	\$ -
	iii. Replace damaged wood jamb with new hardwood unit. Assume 12" in height for replacement piece	20	EACH	\$ -	\$ -
	iv. Replace decorative wood piece with new hardwood to match in profile. Assume 12" in height for replacement piece	5	EACH	\$ -	\$ -
	v. Clean, repair and paint wood turret on north elevation		LUMP SUM		\$ -
SUBTOTAL for Wood Trim Restoration					\$ -
7 Allowances					
	a. Wood trim repairs allowance		ALLOWANCE		\$ 15,000.00
	b. Hardware repair/replacement		ALLOWANCE		\$ 5,000.00
	c. Interior finish repairs		ALLOWANCE		\$ 15,000.00
SUBTOTAL for Allowances					\$ 35,000.00
TOTAL ESTIMATED CONSTRUCTION COST for Windows					\$ 35,000.00

BUILDING ENVELOPE REHABILITATION Harley Clarke Mansion - 2603 Sheridan Rd, Evanston, IL. (DATED 06-01-2026)					
ITEM NO.	ITEM DESCRIPTION	EST. QTY	UNIT OF MEASURE	UNIT COST	TOTAL COST
MAIN HOUSE - ROOFING					
1	Mobilization and General Provisions		LUMP SUM		\$ -
2	Site Protection		LUMP SUM		\$ -
SUBTOTAL for Mobilization, General Provisions and Site Protection					\$ -
3 Roof Repairs					
a. Clay Tile Roof Rehabilitation					
	i. Remove and reinstall existing clay tile roof. Install new fully adhered ice + water shield / underlayment on entire substrate (Sharkskin Ultra 2-ply or equal) with lead-coated copper flashing at all existing sheet metal transitions and penetrations		LUMP SUM		\$ -
	ii. Replace ridge and hip tiles 100%. Match existing in profile, size, and color		LUMP SUM		\$ -
	iii. Replace field tiles on east roofs including Priorities #4 and #5 (refer to roof plan and schedule). Salvage existing tiles for roof reinstallation on		LUMP SUM		\$ -
	iv. Remove and reinstall existing clay tile at dormer walls. Install new fully adhered ice + water shield and lead-coated copper flashing at transitions		LUMP SUM		\$ -
b. Metal Restoration					
	i. Restore existing copper gutters in-situ. Repair broken soldered seams and install fasteners/straps as required to provide adequate support		LUMP SUM		\$ -
	ii. Apply reinforced PMMA membrane inside existing copper gutters		LUMP SUM		\$ -
	iii. Replace all downspouts with new lead-coated copper downspouts. Connect all downspouts into storm sewer system		LUMP SUM		\$ -
	iv. Remove and reinstall all conductor head covers and decorative downspout straps		LUMP SUM		\$ -
	v. Repair existing lead-coated copper cisterns (2 total)		LUMP SUM		\$ -
	vi. Repair existing railing on north elevation		LUMP SUM		\$ -
	vii. Repair existing Juliette balcony on south return elevation		LUMP SUM		\$ -
	viii. Remove, repair and reset existing copper awnings		LUMP SUM		\$ -
c. Copper Roof Repairs					
	i. Remove copper roof at conservatory and install new translucent system. Refer to arch dwgs		LUMP SUM		\$ -
	ii. Install new reinforced liquid PMMA flashing at tops of piers/urns (7 total). Assume custom color to match stone		LUMP SUM		\$ -
	iii. Repair broken seams at existing copper gutters		LUMP SUM		\$ -
d. Modified Bitumen Roof Repairs					
	i. Install new modified bitumen flashing strip over metal flashing on north, east and south edges of main flat roof		LUMP SUM		\$ -
	ii. Install new metal flashing along west transition between clay tile and modified bitumen roofing at main flat roof	0	LF	\$ -	\$ -
	iii. Apply new modified bitumen cap sheet and flashing at lower northeast roof. Install new lead-coated copper flashing at gutter and stone wall		LUMP SUM		\$ -
	iv. Seal fasteners at all existing sheet metal flashings and install new prefinished galvanized counterflashing over chimney watertable		LUMP SUM		\$ -
	v. Apply liquid flashing at all vent stacks		LUMP SUM		\$ -
	vi. Replace damaged wood board decking at isolated areas. Include removal and installation of new modified bitumen system at repair areas	30	SF	\$ -	\$ -
e. Single Membrane Roof Repairs					
	i. Install new membrane flashing strip and lead-coated copper counterflashing at sunroom parapet wall. Apply reinforced liquid-applied flashing at baluster curb over top of counterflashing and around scuppers		LUMP SUM		\$ -
	ii. Install new lead-coated copper flashing into gutter at lower southeast roof. Install new membrane flashing strip		LUMP SUM		\$ -
SUBTOTAL for Roof Repairs					\$ -
4 Roof Replacement					
a. Remove existing roof system down to wood decking and install new vapor retarder, tapered insulation and lead-coated copper roofing system. Include new lead-coated copper metal flashing. Apply liquid-flashing around all penetrations. Modify heights of vent penetrations to meet local code and manufacturer requirements.					
	i. North Dormer Flat Roof		LUMP SUM		\$ -
	ii. Northwest Flat Roof		LUMP SUM		\$ -
	b. Replace flat copper roof in-kind at north railing. Include removal and resetting of railing as required and replacement of copper gutter		LUMP SUM		\$ -
	c. Replace modified bitumen roof at northeast corner with new modified bitumen roof. Include fully adhere vapor barrier, base sheet, intermediate and cap sheets with prefinished metal flashing		LUMP SUM		\$ -
SUBTOTAL for Roof Replacement					\$ -
5 Allowances					
	a. Clay tile replacement allowance		ALLOWANCE		\$ -
	i. Ridge tile	0	EACH	\$ -	\$ -
	ii. Valley tile	0	EACH	\$ -	\$ -
	iii. Hip tile	0	EACH	\$ -	\$ -
	iv. Field tile, (Ludowici Brittany tile or equal) 5/8" by 7" wide by 12" long	0	EACH	\$ -	\$ -
	v. Corner tile at dormer	0	EACH	\$ -	\$ -
	b. Wood decking replacement allowance		ALLOWANCE		\$ -
	i. Wood board	0	EACH	\$ -	\$ -
	ii. Wood rafter	0	EACH	\$ -	\$ -
	iii. Wood sheathing	0	EACH	\$ -	\$ -
	c. Metal restoration allowance		ALLOWANCE		\$ -
	i. Replace isolated section of gutter with new pre-patinated copper. Size and profile to match existing. Remove and reinstall existing decorative veneer on new gutter	0	LF	\$ -	\$ -
	ii. Install new pre-patinated copper liner within existing gutter. Include bi-level connection at downspout	0	LF	\$ -	\$ -
	iii. Replace decorative conductor head cover in-kind	0	EACH	\$ -	\$ -
	iv. Replace decorative downspout strap in-kind	0	EACH	\$ -	\$ -
	d. Structural Allowance		ALLOWANCE		\$ -
SUBTOTAL for Allowances					\$ -
TOTAL ESTIMATED CONSTRUCTION COST for Roofing					\$ -
ALTERNATE ITEMS					
A	Replace entire clay tile roof on main house. Include new clay tile shingle tiles, hips and ridges to match existing. Replace all valleys with new copper flashing. Include replacement of all dormer walls with new soldered copper cladding		UPCHARGE to Item 3.a		\$ -
	i. Priority #1 - West Roof over entry (approx. 1768 sf)				\$ -
	ii. Priority #2 - Northwest Roof (approx. 2082 sf)				\$ -
	iii. Priority #3 - Northeast and Southwest Roofs (approx. 1104 sf)				\$ -
	iv. Priority #4 - North and South Roofs (approx. 1164)				\$ -
	v. Priority #5 - East Roof (approx. 1023 sf)				\$ -
B	Replace all existing copper gutters in lieu of repair in-situ. Salvage decorative veneer and apply to new gutter. Assume 20 oz. copper		UPCHARGE to Item 3.b.i		\$ -
TOTAL ALTERNATE COST for Roofs					\$ -

#	DESCRIPTION	DATE
01	HISTORIC TAX CREDIT	2026.06.05
02	CERT. OF APPROPRIATENESS	2026.06.17

PROFESSIONAL OF RECORD

LICENSE EXP: 11.30.2028

PROJECT NUMBER: 250401

SHEET NAME

EXISTING
ROOF PLAN -
MAIN HOUSE

SHEET NUMBER

R1.00

ROOF SCOPE

CLAY TILE ROOF

- COMPLETE REMOVAL OF EXISTING CLAY TILE ROOF. REPLACEMENT OF UNDERLAYMENT AND INSTALLATION OF ICE + WATER SHIELD MEMBRANE AT TRANSITIONS.
- PRIORITIES #1, 2 AND 3 EXISTING SHINGLE TILES TO BE RELAYED.
- PRIORITIES #4 AND 5: IF SALVAGE TILE CANNOT BE OBTAINED SOLELY FROM THE COACH HOUSE ROOF (PRIORITY #6), NEW SHINGLE TILES CLOSELY MATCHING EXISTING TO BE INSTALLED WITH OPEN COPPER VALLEYS. OTHERWISE SCOPE TO MATCH PRIORITIES #1, 2 AND 3.
- NEW HP AND RIDGE TILES MATCHING EXISTING TO BE INSTALLED.
- COPPER GUTTERS, SCUPPER BOXES, CISTERN, RAILINGS AND BRACKETS TO BE RESTORED. GUTTERS TO BE LINED WITH REINFORCED FLUID MEMBRANE. ALL DOWNSPOUTS TO BE REPLACED IN-KIND WITH LEAD-COATED COPPER.
- A MOCKUP WILL BE COMPLETED AT ROOF #13 TO ALLOW REVIEW OF THE PROPOSED REPLACEMENT SHINGLE AND HP TILE. MOCKUP WILL ALSO PROVIDE ADDITIONAL INFORMATION ON SALVAGING QUANTITIES FOR EXISTING SHINGLE TILES.

FLAT COPPER ROOFS

- REPLACEMENT OF EXISTING COPPER ROOFS. REPLACEMENT OF UNDERLAYMENT AND INSTALLATION OF ICE + WATER SHIELD MEMBRANE AT TRANSITIONS. INSTALLATION OF NEW FULLY SOLDERED COPPER ROOF TO MATCH EXISTING.

STANDING SEAM COPPER ROOF

- WORK SCOPE AT COPPER CONSERVATORY ROOF IS STILL BEING EVALUATING (TO BE DETERMINED).

FLAT MEMBRANE ROOFS

- REPLACEMENT OF EXISTING MEMBRANE ROOF AT EAST BAY WINDOW.
- REPAIR OF EXISTING MEMBRANE ROOF AT EAST SUNROOM AND MAIN ROOF.

NOTES

- REPAIR LOCATIONS SHOWN ARE APPROXIMATE. EXACT REPAIR TYPES AND LOCATIONS WILL BE DESIGNATED BY THE ARCHITECT AFTER CLOSE-UP REVIEW FROM THE SCAFFOLDING.
- STATE HISTORIC PRESERVATION OFFICE (SHPO) TO BE NOTIFIED TO VIEW AND APPROVE MATERIAL SAMPLES ON SITE UPON REQUEST.
- EXISTING HISTORIC MATERIALS TO BE RETAINED AND REPAIRED WHERE POSSIBLE. NEW MATERIALS NEEDED TO REPLACE MISSING OR IRREPAIRABLE UNITS SHALL MATCH HISTORIC SHAPE, PROFILES, JOINT PATTERN, COLOR, TEXTURE AND FINISH.

LEGEND

MASONRY DEFECTS

- REPLACE DAMAGED STONE UNIT
- REPLACE CONCRETE UNIT WITH LIMESTONE TO MATCH EXISTING
- REMOVE + RESET STONE UNIT
- REBUILD MASONRY PARAPET WALL
- REBUILD OUTER WYTHE OF MASONRY
- GRIND + REPOINT MORTAR JOINTS PER DETAIL 6/R3.01
- REPAIR CRACKED STONE UNIT (REPLACE PER DETAIL 6/R3.01)
- REHABILITATE STEEL LINTEL PER SHEET R3.03
- REPLACE SEALANT
- GRIND + SEAL HAIRLINE CRACK AT STONE UNIT
- PATCH SPALL AT STONE UNIT PER DETAIL 7/R3.01

WINDOW TYPES

- L LEADED GLASS CASEMENT
- S STEEL CASEMENT
- SH STEEL HUNG
- WF WOOD FIXED
- WA WOOD AWNING
- A ALUMINUM
- V VINYL

WINDOW DEFECTS

- ① RESTORE WINDOW OFF-SITE
- ② RESTORE WINDOW IN-PLACE
- ③ REHABILITATE WINDOW IN-PLACE
- ④ NO REPAIRS NEEDED
- ⑤ REPLACE WINDOW
- CRACKED GLASS
- VENT
- REPAIR WOOD TRIM

ROOF TYPES

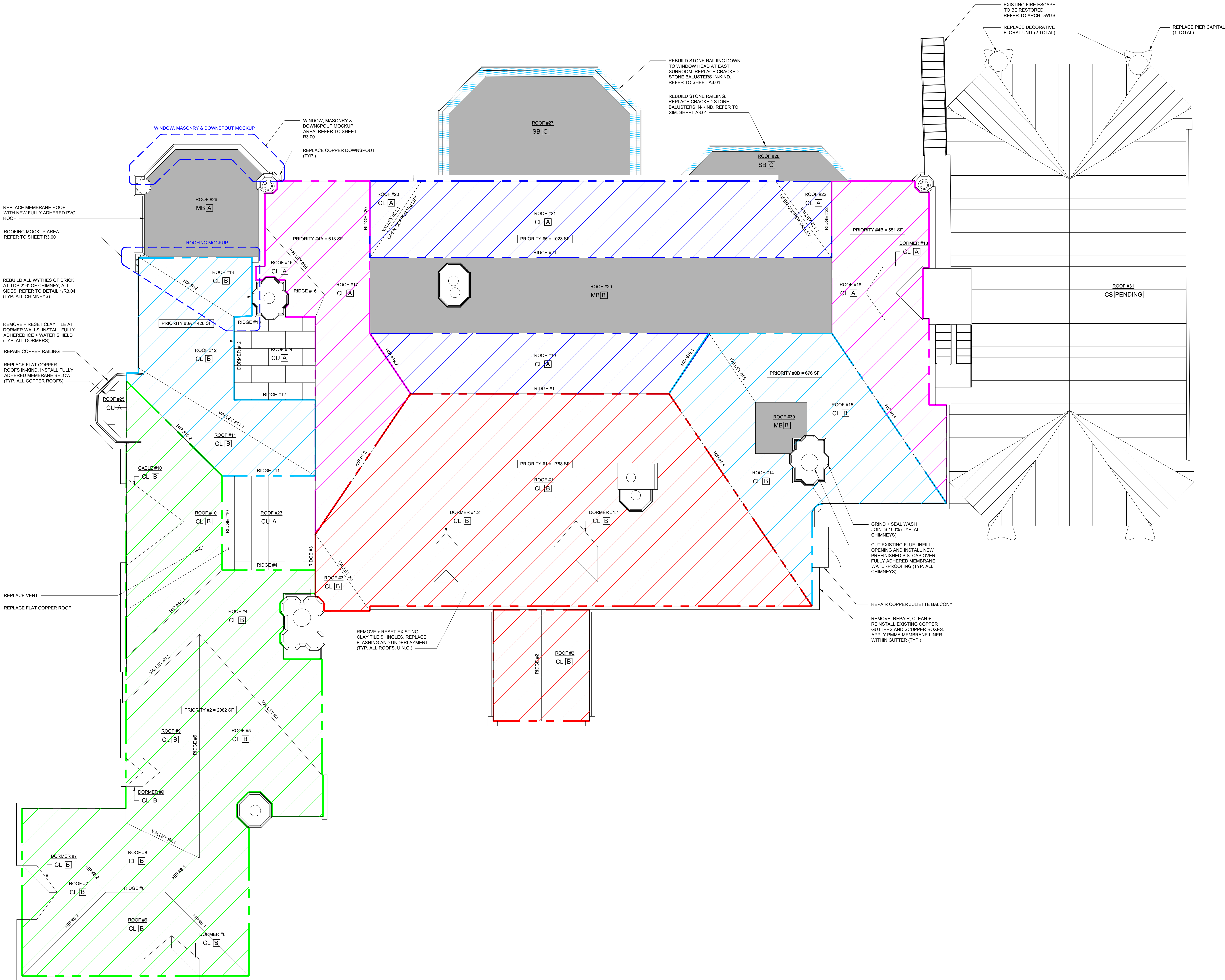
- CL CLAY TILE
- MB MODIFIED BITUMEN MEMBRANE
- SB SINGLE MEMBRANE
- CU METAL, SOLDERED COPPER
- CS METAL, COPPER STANDING SEAM

ROOF DEFECTS

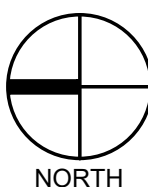
- [A] REPLACE ROOF
- [B] REHABILITATE ROOF
- [C] REPAIR ROOF AT ISOLATED AREAS
- [D] CRACKED CLAY TILE

ROOF PRIORITY

- PRIORITY #1 - HIGHEST VISIBILITY
- PRIORITY #2 - HIGH VISIBILITY
- PRIORITY #3 - MEDIUM VISIBILITY
- PRIORITY #4 - LOW VISIBILITY
- PRIORITY #5 - LOWEST VISIBILITY
- PRIORITY #6 - COACH HOUSE



1 ROOF PLAN - MAIN HOUSE
SCALE: 1/4" = 1'-0"



0 4 8 12
SCALE: 1/4" = 1'-0"

ROOF SCOPE

CLAY TILE ROOF

- PRIORITY #6: COACH HOUSE ROOF TO BE REPLACED IN ITS ENTIRETY TO OBTAIN SALVAGED TILES FOR USE ON MAIN HOUSE RELAY. NEW SHINGLE TILES CLOSELY MATCHING EXISTING TO BE INSTALLED WITH OPEN COPPER VALLEYS.
- NEW HIP AND RIDGE TILES MATCHING EXISTING TO BE INSTALLED.
- COPPER GUTTERS AND SCUPPER BOXES TO BE RESTORED. GUTTER TO BE LINED WITH REINFORCED FLUID MEMBRANE. ALL DOWNSPOUTS TO BE REPLACED IN-KIND WITH LEAD-COATED COPPER.
- A MOCKUP WILL BE COMPLETED AT ROOF #13 ON MAIN HOUSE TO ALLOW REVIEW OF THE PROPOSED REPLACEMENT SHINGLE AND HIP TILE.

FLAT COPPER ROOFS

- REPLACEMENT OF EXISTING COPPER ROOFS, REPLACEMENT OF UNDERLAYMENT AND INSTALLATION OF ICE + WATER SHIELD MEMBRANE AT TRANSITIONS. INSTALLATION OF NEW FULLY SOLDERED COPPER ROOF TO MATCH EXISTING.

FLAT MEMBRANE ROOFS

- REPLACEMENT OF EXISTING MEMBRANE ROOFS AND INSTALLATION OF COPPER FLASHING AT TRANSITIONS.

NOTES

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- STATE HISTORIC PRESERVATION OFFICE (SHPO) TO BE NOTIFIED TO VIEW AND APPROVE MATERIAL SAMPLES ON SITE UPON REQUEST.
- EXISTING HISTORIC MATERIALS TO BE RETAINED AND REPAIRED WHERE POSSIBLE. NEW MATERIALS NEEDED TO REPLACE MISSING OR IRREPAIRABLE UNITS SHALL MATCH HISTORIC SHAPE, PROFILES, JOINT PATTERN, COLOR, TEXTURE AND FINISH.

LEGEND

MASONRY DEFECTS

- REPLACE DAMAGED STONE UNIT
- REPLACE CONCRETE UNIT WITH LIMESTONE TO MATCH EXISTING
- REMOVE + RESET STONE UNIT
- REBUILD MASONRY PARAPET WALL
- REBUILD OUTER WYTHE OF MASONRY
- GRIND + REPOINT MORTAR JOINTS PER DETAIL 8/R3.01
- REPAIR CRACKED STONE UNIT IN-PLACE PER DETAIL 6/R3.01
- REHABILITATE STEEL LINTEL PER SHEET R3.03
- REPLACE SEALANT
- GRIND + SEAL HAIRLINE CRACK AT STONE UNIT
- PATCH SPALL AT STONE UNIT PER DETAIL 7/R3.01

WINDOW TYPES

- L LEADED GLASS CASEMENT
- S STEEL CASEMENT
- SH STEEL HUNG
- WF WOOD FIXED
- WA WOOD AWNING
- A ALUMINUM
- V VINYL

WINDOW DEFECTS

- ① RESTORE WINDOW OFF-SITE
- ② RESTORE WINDOW IN-PLACE
- ③ REHABILITATE WINDOW IN-PLACE
- ④ NO REPAIRS NEEDED
- ⑤ REPLACE WINDOW
- CRACKED GLASS
- VENT
- REPAIR WOOD TRIM

ROOF TYPES

- CL CLAY TILE
- MB MODIFIED BITUMEN MEMBRANE
- SB SINGLE MEMBRANE
- CU METAL SOLDERED COPPER
- CS METAL COPPER STANDING SEAM

ROOF DEFECTS

- REPLACE ROOF
- REHABILITATE ROOF
- REPAIR ROOF AT ISOLATED AREAS
- CRACKED CLAY TILE

ROOF PRIORITY

- PRIORITY #1 - HIGHEST VISIBILITY
- PRIORITY #2 - HIGH VISIBILITY
- PRIORITY #3 - MEDIUM VISIBILITY
- PRIORITY #4 - LOW VISIBILITY
- PRIORITY #5 - LOWEST VISIBILITY
- PRIORITY #6 - COACH HOUSE

REMOVE, REPAIR, CLEAN +
REINSTALL EXISTING COPPER
GUTTERS AND SCUPPER BOXES.
APPLY PMMA MEMBRANE LINER
WITHIN GUTTER (TYP.)

REMOVE, SALVAGE + STORE EXISTING
CLAY TILE SHINGLES. REPLACE TILES
WITH NEW CLAY TILE (LUDOWIG,
BRITANNY TILE) CLOSELY MATCHING
IN SIZE, SHAPE, TEXTURE AND COLOR.
REPLACE UNDERLAYMENT WITH NEW
2-PLY MEMBRANE AND INSTALL NEW
COPPER FLASHING (TYP. ALL ROOFS,
U.N.O.)

REPLACE COPPER DOWNSPOUT
(TYP.)

REPLACE MEMBRANE ROOF
WITH NEW FULLY ADHERED PVC
ROOF

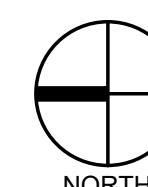
REPLACE FLAT COPPER
ROOFS IN-KIND. INSTALL FULLY
ADHERED MEMBRANE BELOW
(TYP. ALL COPPER ROOFS)

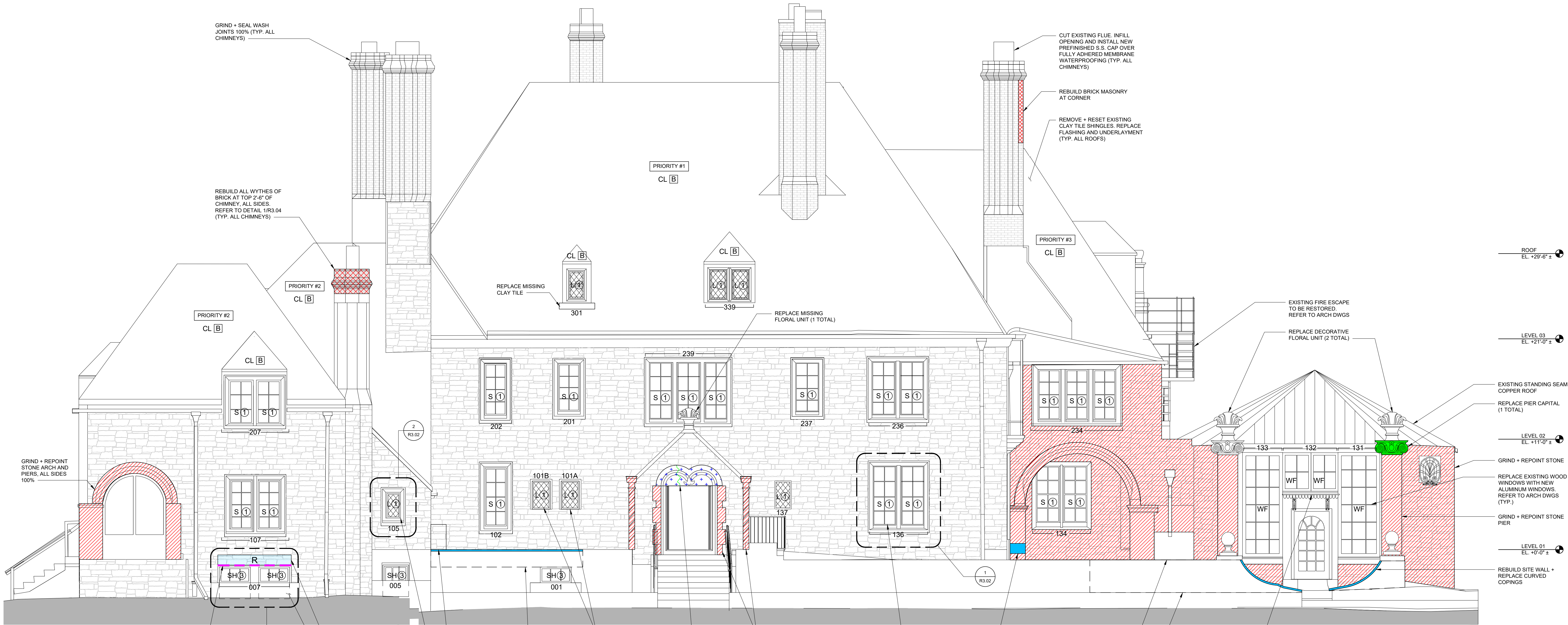
GRIND + SEAL WASH
JOINTS 100%
CUT EXISTING FLUE. INFILL
OPENING AND INSTALL NEW
PREFINISHED S.S. CAP OVER
FULLY ADHERED MEMBRANE
WATERPROOFING

REPLACE MEMBRANE ROOF
WITH NEW FULLY ADHERED PVC
ROOF

REBUILD PARAPET WALL.
REFER TO SHEET R2.02

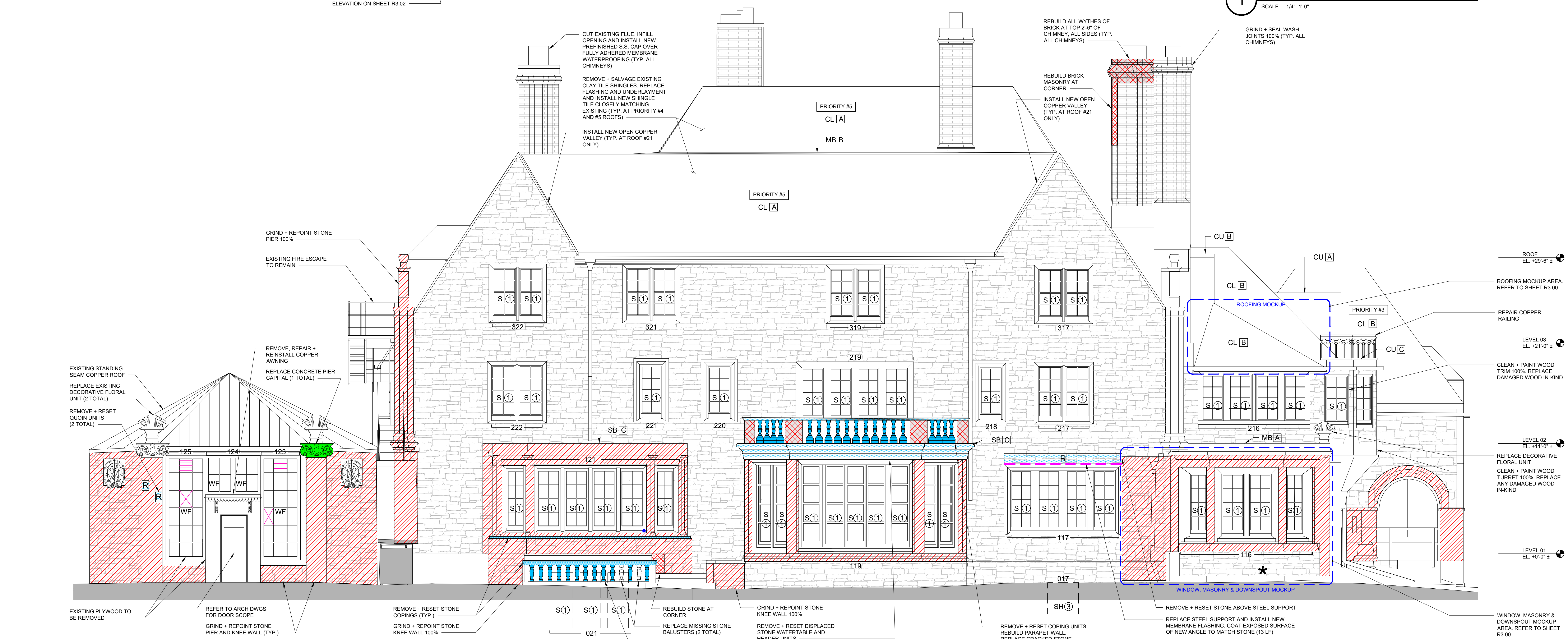
REPLACE EXISTING
GREENHOUSE IN-KIND. REFER
TO COACH HOUSE ARCH DWGS





1 WEST ELEVATION

SCALE: 1/4"=1'-0"



2 EAST ELEVATION

SCALE: 1/4"=1'-0"

FAÇADE SCOPE

MASONRY FAÇADES

- REHABILITATION OF EXISTING MASONRY FAÇADES INCLUDING ISOLATED REPAIRS TO LANNON AND INDIANA LIMESTONE. REPAIRS TO INCLUDE REPOINTING, SEALANT REPLACEMENT AT WASH JOINTS, AND REPLACEMENT IN-KIND WITH MATCHING UNITS.

WINDOW SCOPE

VINYL WINDOWS

- ISOLATED IN-KIND PATCHING REPAIRS TO EXISTING WOOD TRIM AT WINDOWS. ALL WOOD TRIM TO BE CLEANED AND PAINTED.

ALUMINUM WINDOWS

- EXISTING GREENHOUSE TO BE REPLACED WITH CLOSELY MATCHING ALUMINUM GREENHOUSE BY JANCO GREENHOUSES.

ROOF SCOPE

REFER TO SHEET R1.01 FOR ROOF SCOPE.

NOTES

- REPAIR LOCATIONS SHOWN ARE APPROXIMATE. EXACT REPAIR TYPES AND LOCATIONS WILL BE DESIGNATED BY THE ARCHITECT AFTER CLOSE-UP REVIEW FROM THE SCAFFOLDING.
- STATE HISTORIC PRESERVATION OFFICE (SHPO) TO BE NOTIFIED TO VIEW AND APPROVE MATERIAL SAMPLES ON SITE UPON REQUEST.
- EXISTING MASONRY TO BE RETAINED AND REPAIRED WHERE POSSIBLE. NEW MASONRY NEEDED TO REPLACE MISSING OR IRREPARABLE UNITS SHALL MATCH HISTORIC SHAPE, PROFILES, JOINT PATTERN, COLOR, TEXTURE AND FINISH.

LEGEND

MASONRY DEFECTS

- REPLACE DAMAGED STONE UNIT
- REPLACE CONCRETE UNIT WITH LIMESTONE TO MATCH EXISTING
- REMOVE + RESET STONE UNIT
- REBUILD MASONRY PARAPET WALL
- REBUILD OUTER WYTHE OF MASONRY
- GRIND + REPOINT MORTAR JOINTS PER DETAIL 6/R3.01
- REPAIR CRACKED STONE UNIT IN-PLACE PER DETAIL 6/R3.01
- REHABILITATE STEEL LINTEL PER SHEET R3.03
- REPLACE SEALANT
- GRIND + SEAL HARLINE CRACK AT STONE UNIT
- PATCH SPALL AT STONE UNIT PER DETAIL 7/R3.01

WINDOW TYPES

- L LEADED GLASS CASEMENT
- S STEEL CASEMENT
- SH STEEL HUNG
- WF WOOD FIXED
- WA WOOD AWNING
- A ALUMINUM
- V VINYL

WINDOW DEFECTS

- RESTORE WINDOW OFF-SITE
- RESTORE WINDOW IN-PLACE
- REHABILITATE WINDOW IN-PLACE
- NO REPAIRS NEEDED
- REPLACE WINDOW
- CRACKED GLASS
- VENT
- REPAIR WOOD TRIM

ROOF TYPES

- CL CLAY TILE
- MB MODIFIED BITUMEN MEMBRANE
- SB SINGLE MEMBRANE
- CU METAL, SOLDERED COPPER
- CS METAL, COPPER STANDING SEAM

ROOF DEFECTS

- [A] REPLACE ROOF
- [B] REHABILITATE ROOF
- [C] REPAIR ROOF AT ISOLATED AREAS
- [D] CRACKED CLAY TILE

assemble
design workshop

HARLEY CLARKE
MANSION
REHABILITATION &
ADAPTIVE REUSE

2603 SHERIDAN ROAD
EVANSTON, IL 60201

REVIVE
ARCHITECTURE

1800 Ridge Ave., #101 | Evanston, Illinois 60201
Architectural Design Firm No. 194.007074

HARLEY CLARKE
DEVELOPMENT CO.

CLIENT/OWNER
CELADON CONSTRUCTION CORPORATION NFP

ARCHITECT OF RECORD
ASSEMBLE DESIGN WORKSHOP PLLC

STRUCTURAL ENGINEER
SRA STRUCTURAL ENGINEERS

MEP/PF ENGINEER
ARCHITECTURAL CONSULTING ENGINEERS

CIVIL ENGINEER
ENGAGE CIVIL, INC.

LANDSCAPE ARCHITECT
HITCHCOCK DESIGN GROUP

HISTORIC PRESERVATION
RAMSEY HISTORIC CONSULTANTS, INC.

FOOD SERVICE CONSULTANT
TRIMARK MARLIN, LLC

LIGHTING DESIGN
MORLIGHTS, LLC

ELEVATOR CONSULTANT
JENKINS & HUNTINGTON, INC.

BUILDING ENVELOPE
REVIVE ARCHITECTURE, LLC

ACCESSIBILITY CONSULTANT
LDM ARCHITECTS

#	DESCRIPTION	DATE
01	HISTORIC TAX CREDIT	2020.06.05
02	CERT. OF APPROPRIATENESS	2020.06.17

PROFESSIONAL OF RECORD

LICENSE EXP: 11.30.2028

PROJECT NUMBER: 250401

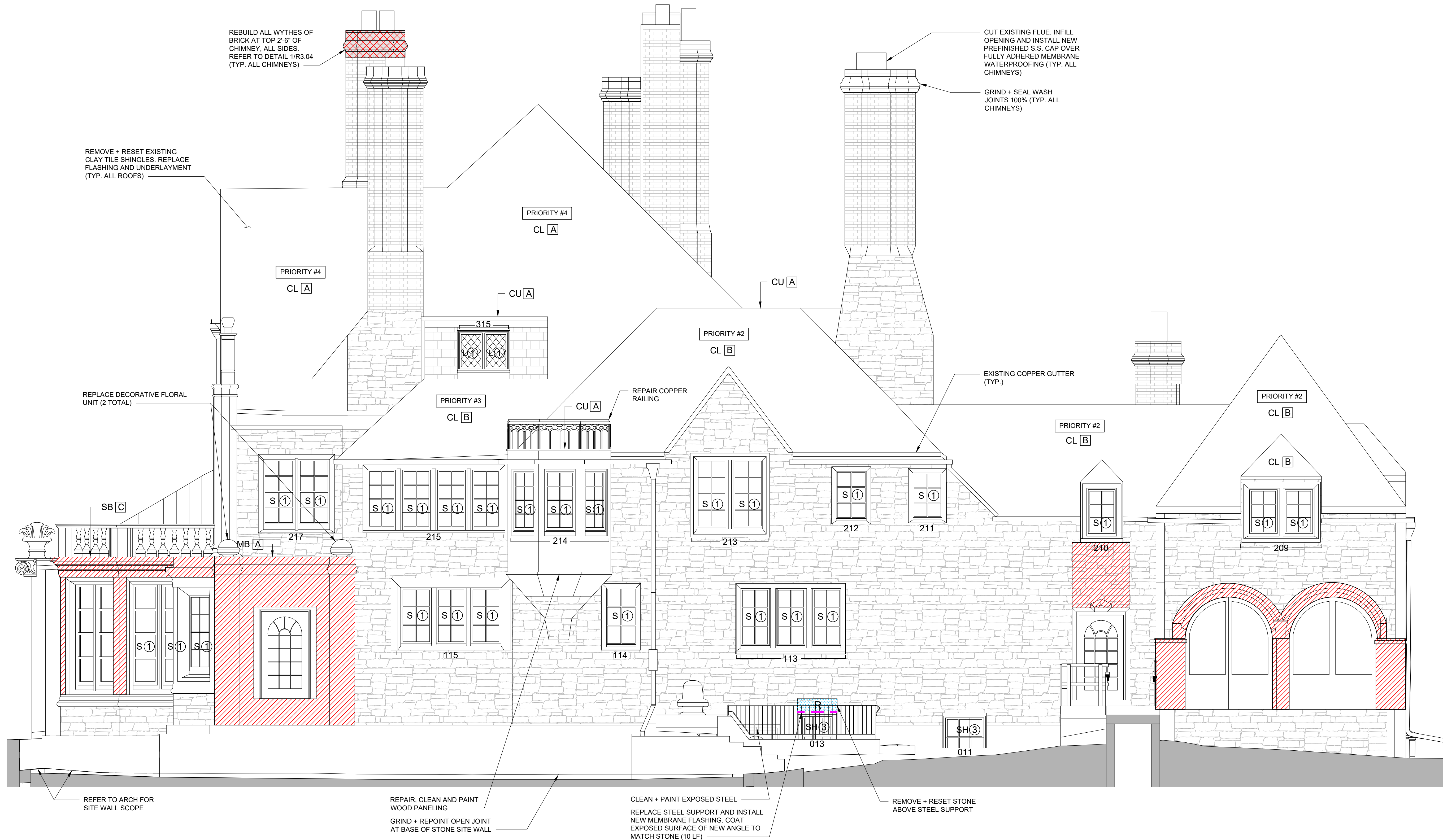
SHEET NAME

EXISTING
ELEVATIONS -
EAST AND WEST

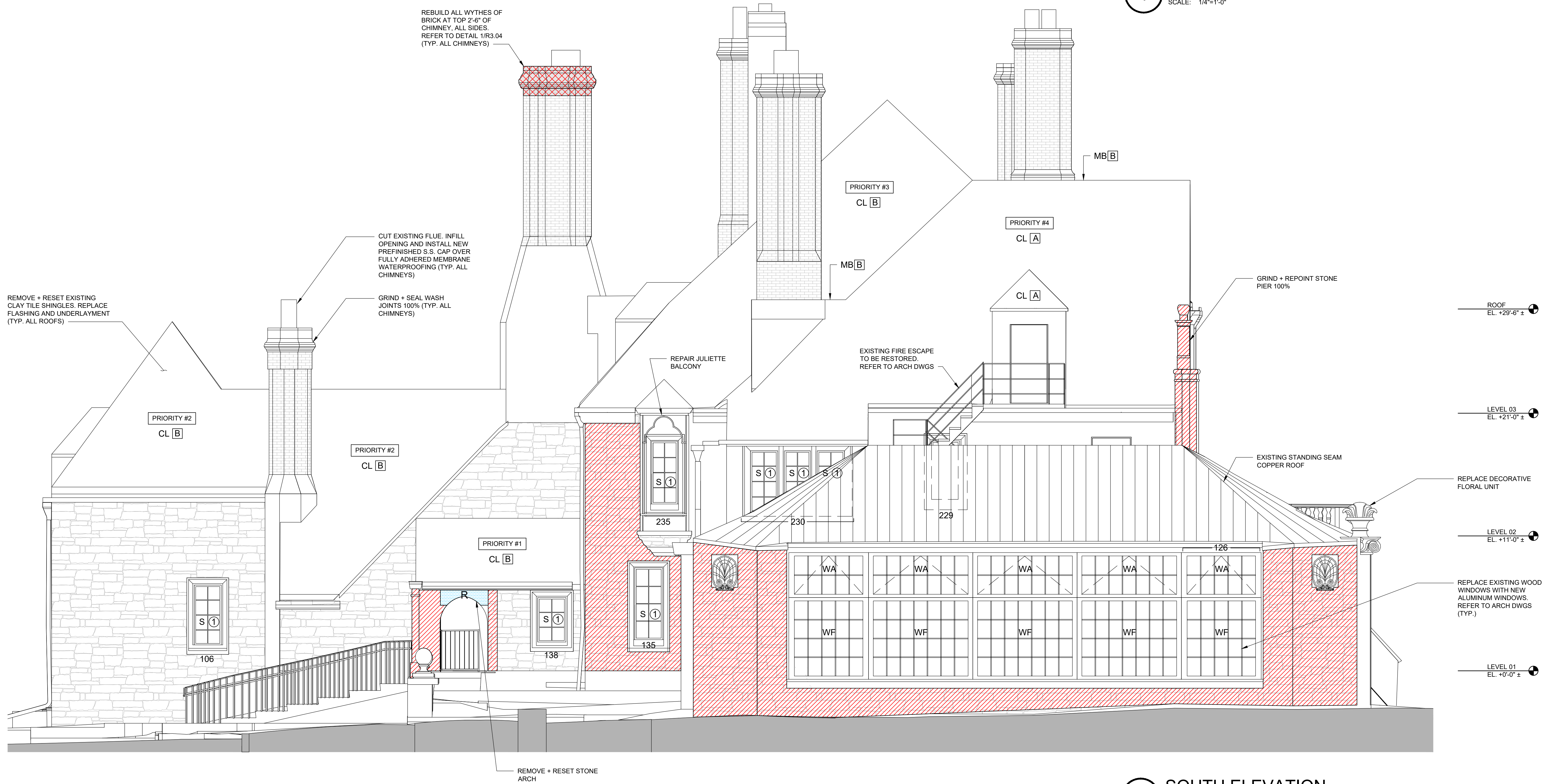
SHEET NUMBER

R2.00

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1 NORTH ELEVATION
SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

FACADE SCOPE

MASONRY FACADES

- REHABILITATION OF EXISTING MASONRY FACADES INCLUDING ISOLATED REPAIRS TO LANNON AND INDIANA LIMESTONE. REPAIRS TO INCLUDE REPOINTING, SEALANT REPLACEMENT AT WASH JOINTS, AND REPLACEMENT IN-KIND WITH MATCHING UNITS.

WINDOW SCOPE

VINYL WINDOWS

- ISOLATED IN-KIND PATCHING REPAIRS TO EXISTING WOOD TRIM AT WINDOWS. ALL WOOD TRIM TO BE CLEANED AND PAINTED.

ALUMINUM WINDOWS

- EXISTING GREENHOUSE TO BE REPLACED WITH CLOSELY MATCHING ALUMINUM GREENHOUSE BY JANCO GREENHOUSES.

ROOF SCOPE

REFER TO SHEET R1 01 FOR ROOF SCOPE.

NOTES

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LEGEND

MASONRY DEFECTS

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- REMOVE + RESET STONE UNIT
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- REHABILITATE STEEL LINTEL PER SHEET R3.03
- REPLACE SEALANT
- GRIND + SEAL HARLINE CRACK AT STONE UNIT
- PATCH SPALL AT STONE UNIT PER DETAIL 7/R3.01

WINDOW TYPES

- L LEADED GLASS CASEMENT
- S STEEL CASEMENT
- SH STEEL HUNG
- WF WOOD FIXED
- WA WOOD AWNING
- A ALUMINUM
- V VINYL

WINDOW DEFECTS

- ① RESTORE WINDOW OFF-SITE
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- ③ REHABILITATE WINDOW IN-PLACE
- ④ NO REPAIRS NEEDED
- ⑤ REPLACE WINDOW
- ⑥ CRACKED GLASS
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- REPAIR WOOD TRIM

ROOF TYPES

- CL CLAY TILE
- MB MODIFIED BITUMEN MEMBRANE
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- CU METAL, SOLDERED COPPER
- CS METAL, COPPER STANDING SEAM

ROOF DEFECTS

- [A] REPLACE ROOF
- [B] REHABILITATE ROOF
- [C] REPAIR ROOF AT ISOLATED AREAS
- [D] CRACKED CLAY TILE

FAÇADE SCOPE

MASONRY FAÇADES

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ROOF SCOPE

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- REHABILITATE STEEL LINTEL PER SHEET R3.03
- REPLACE SEALANT
- GRIND + SEAL HAIRLINE CRACK AT STONE UNIT
- PATCH SPALL AT STONE UNIT PER DETAIL 7/R3.01

WINDOW TYPES

- L LEADED GLASS CASEMENT
- S STEEL CASEMENT
- SH STEEL HUNG
- WF WOOD FIXED
- WA WOOD AWNING
- A ALUMINUM
- V VINYL

WINDOW DEFECTS

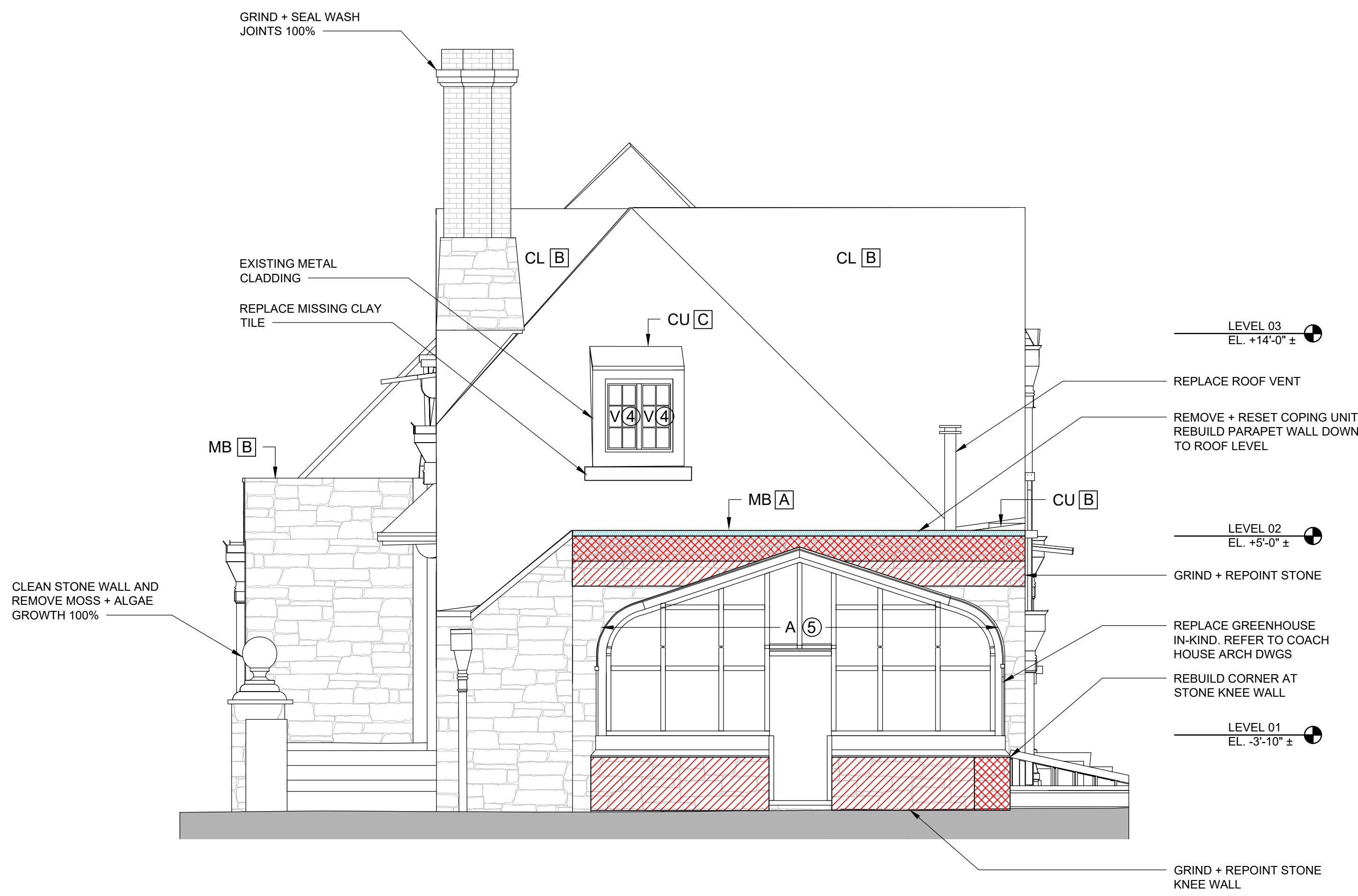
- RESTORE WINDOW OFF-SITE
- RESTORE WINDOW IN-PLACE
- REHABILITATE WINDOW IN-PLACE
- NO REPAIRS NEEDED
- REPLACE WINDOW
- CRACKED GLASS
- VENT
- REPAIR WOOD TRIM

ROOF TYPES

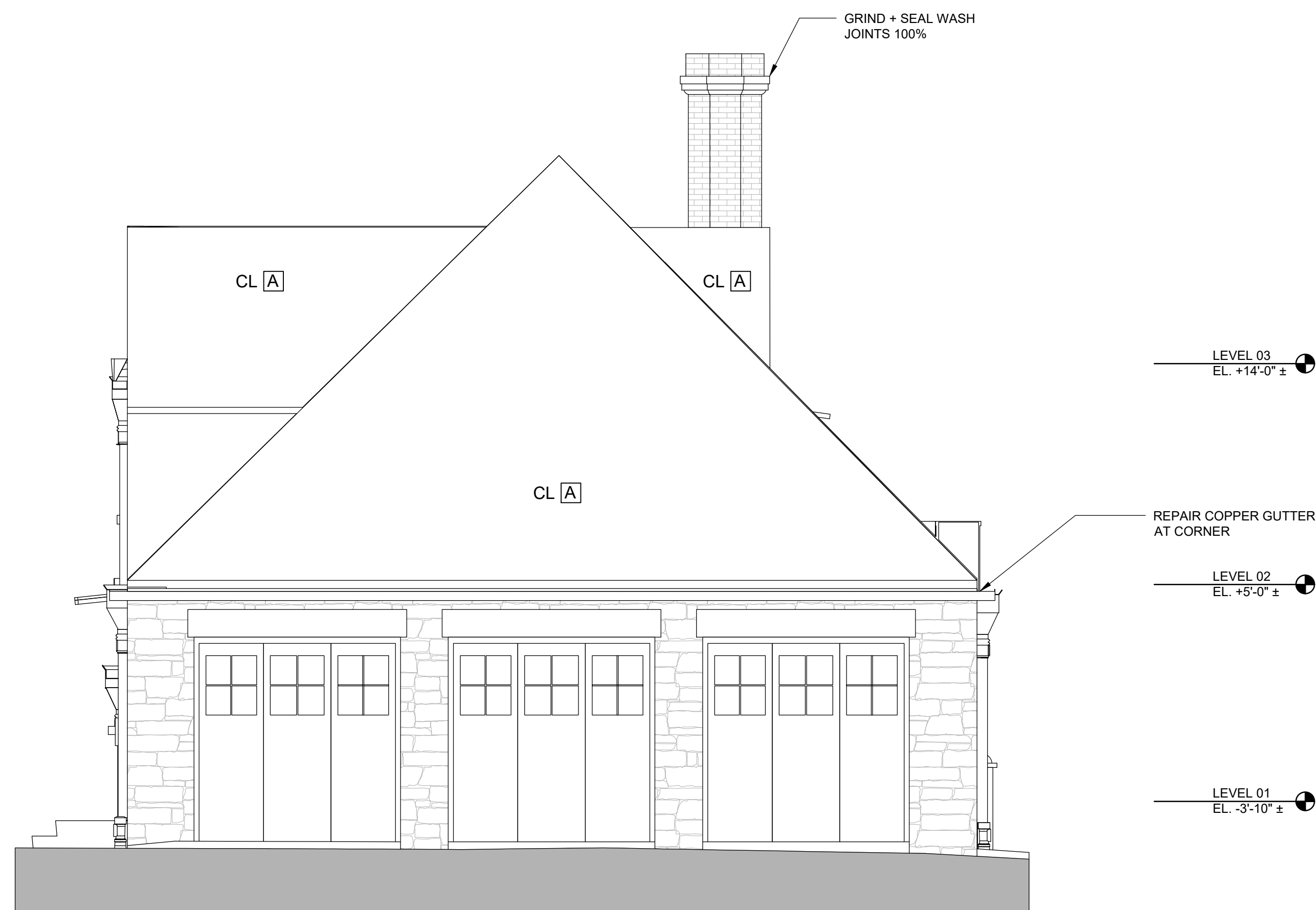
- CL CLAY TILE
- MB MODIFIED BITUMEN MEMBRANE
- SB SINGLE MEMBRANE
- CU METAL SOLDERED COPPER
- CS METAL COPPER STANDING SEAM

ROOF DEFECTS

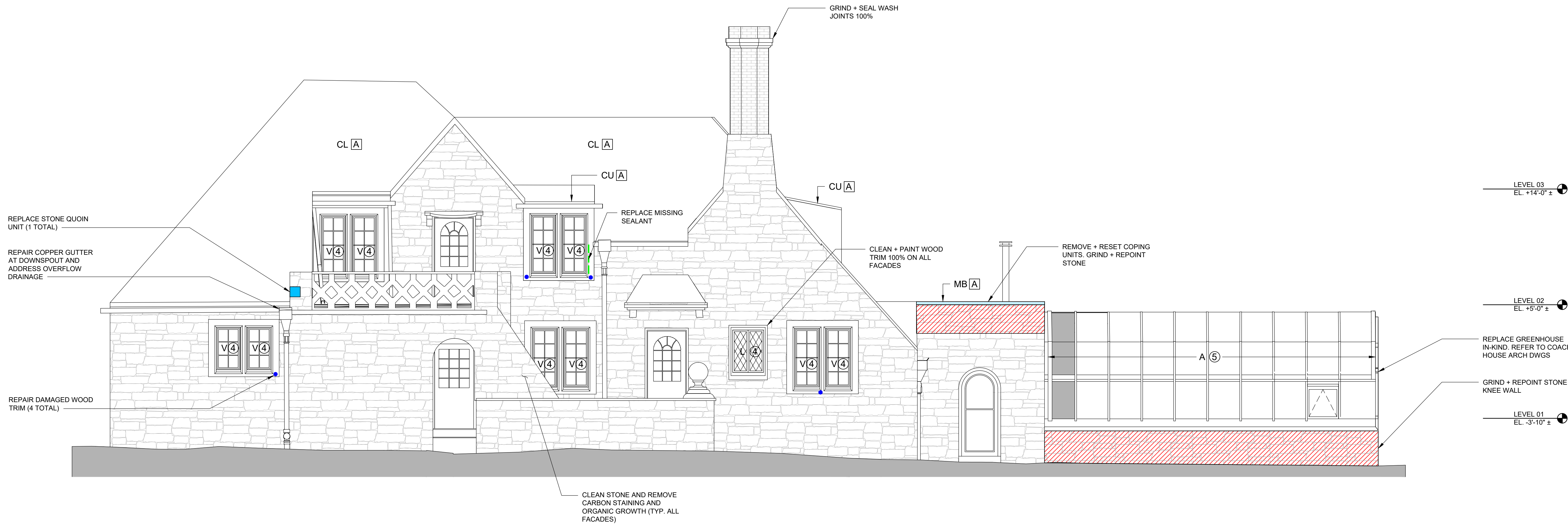
- REPLACE ROOF
- REHABILITATE ROOF
- REPAIR ROOF AT ISOLATED AREAS
- CRACKED CLAY TILE



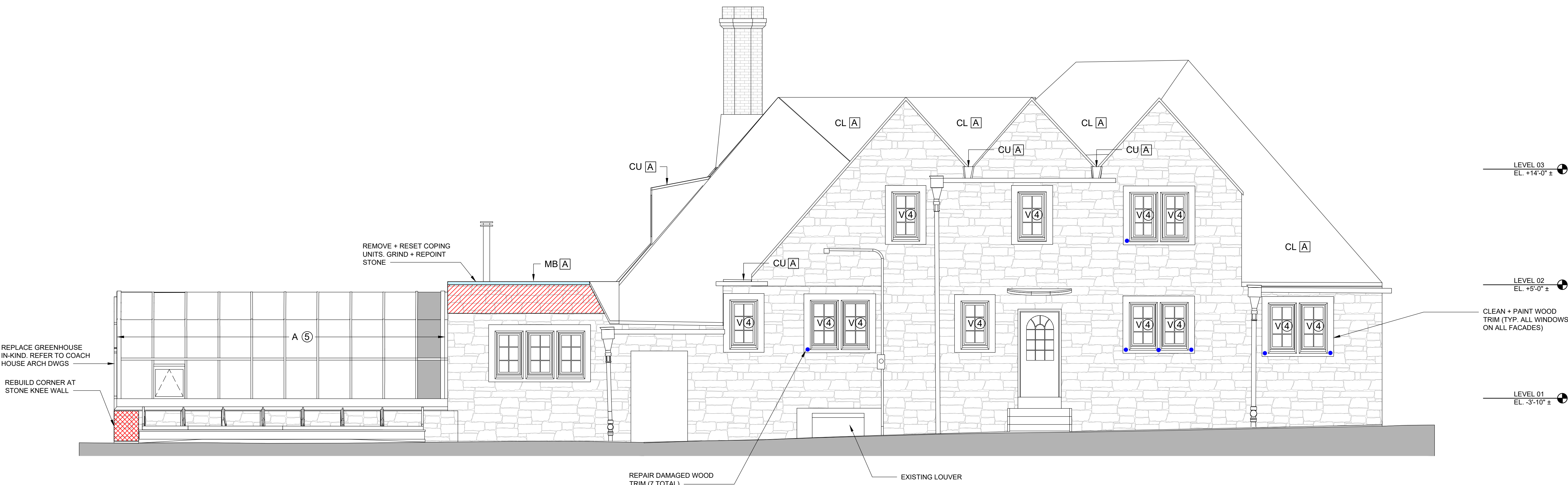
4 WEST ELEVATION
SCALE: 1/4"=1'-0"



1 EAST ELEVATION
SCALE: 1/4"=1'-0"

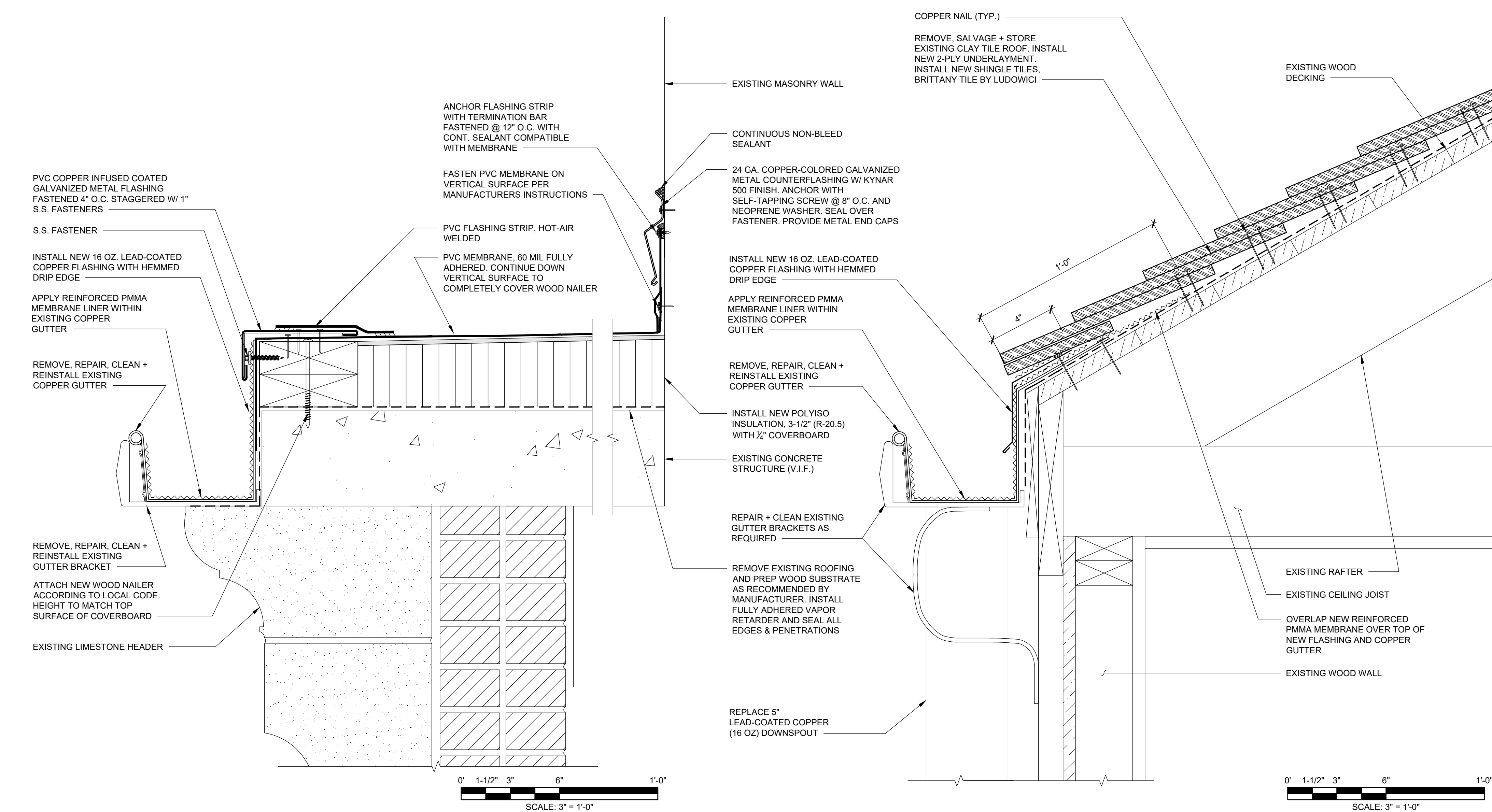


2 NORTH ELEVATION
SCALE: 1/4"=1'-0"

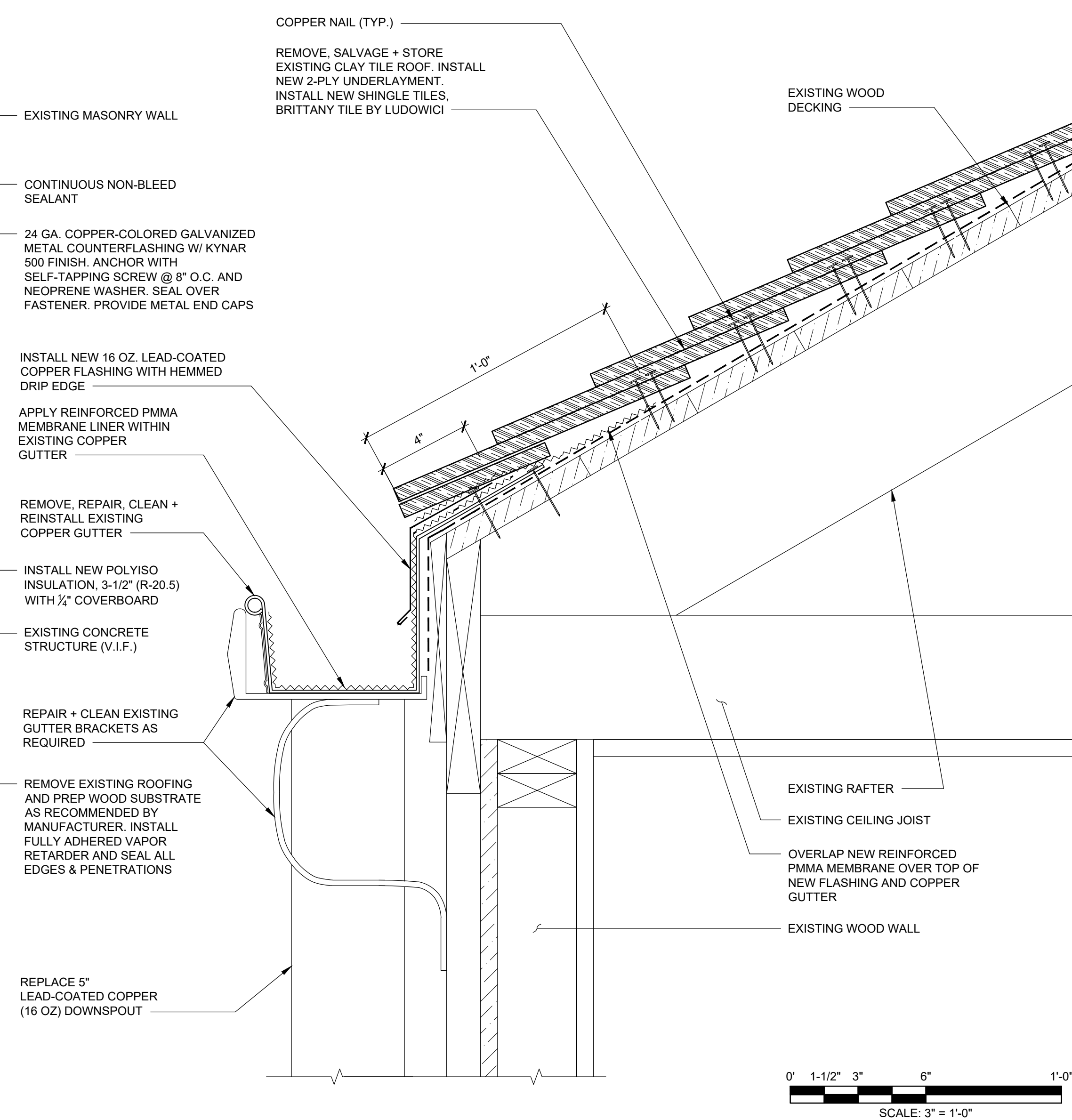


3 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

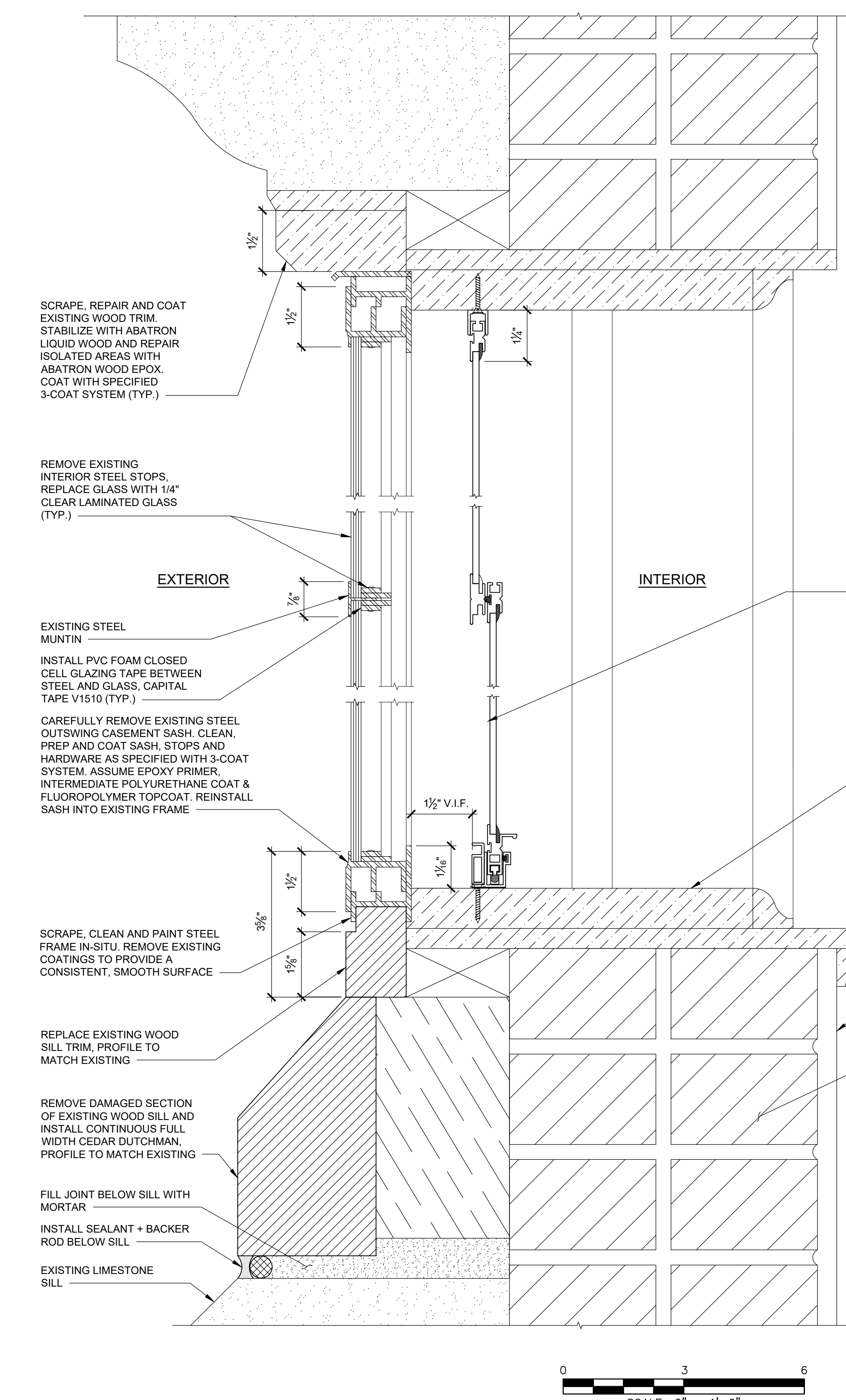
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01	HISTORIC TAX CREDIT	2026.06.01
02	CERT OF APPROPRIATENESS	2026.06.01



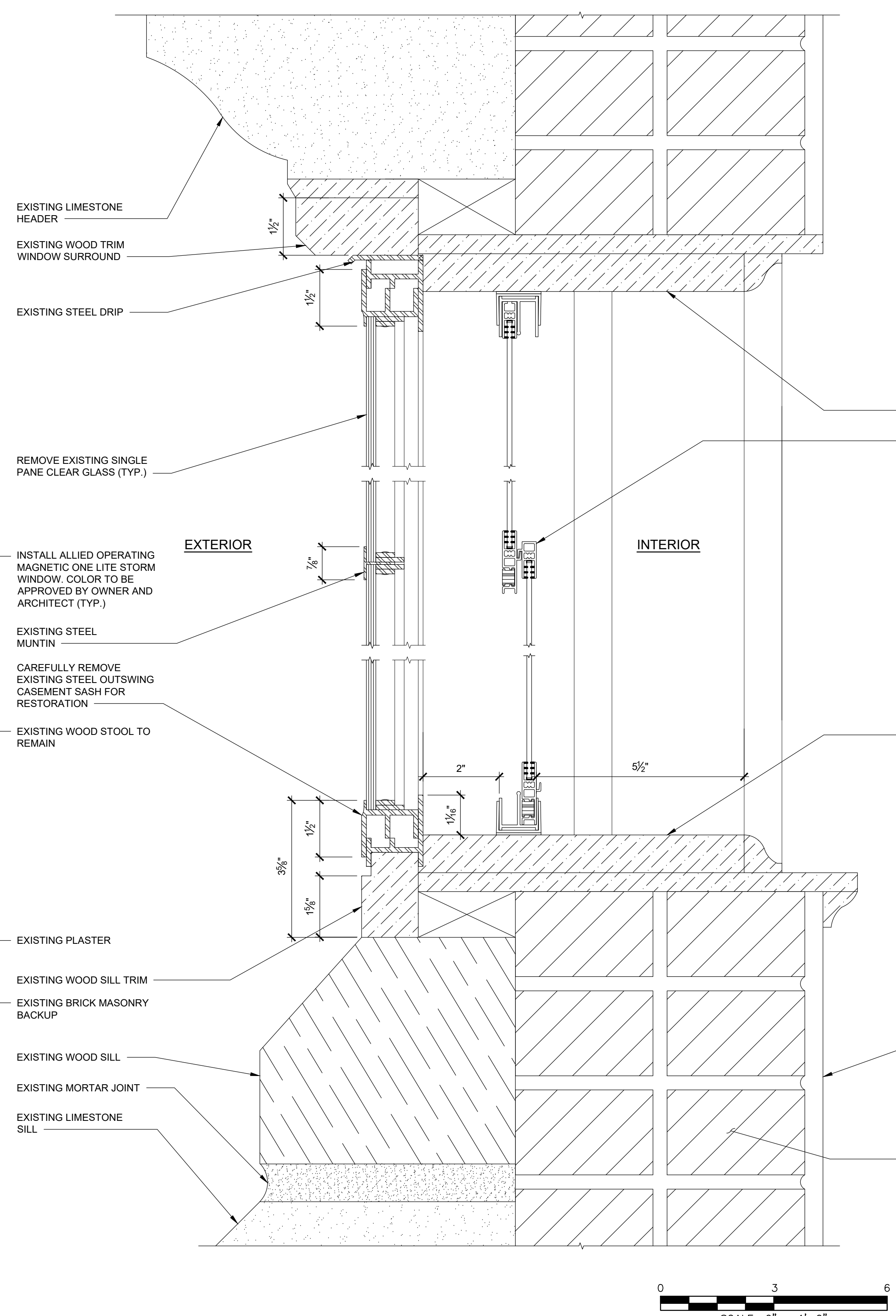
5 SECTION - COPPER GUTTER AT FLAT ROOF



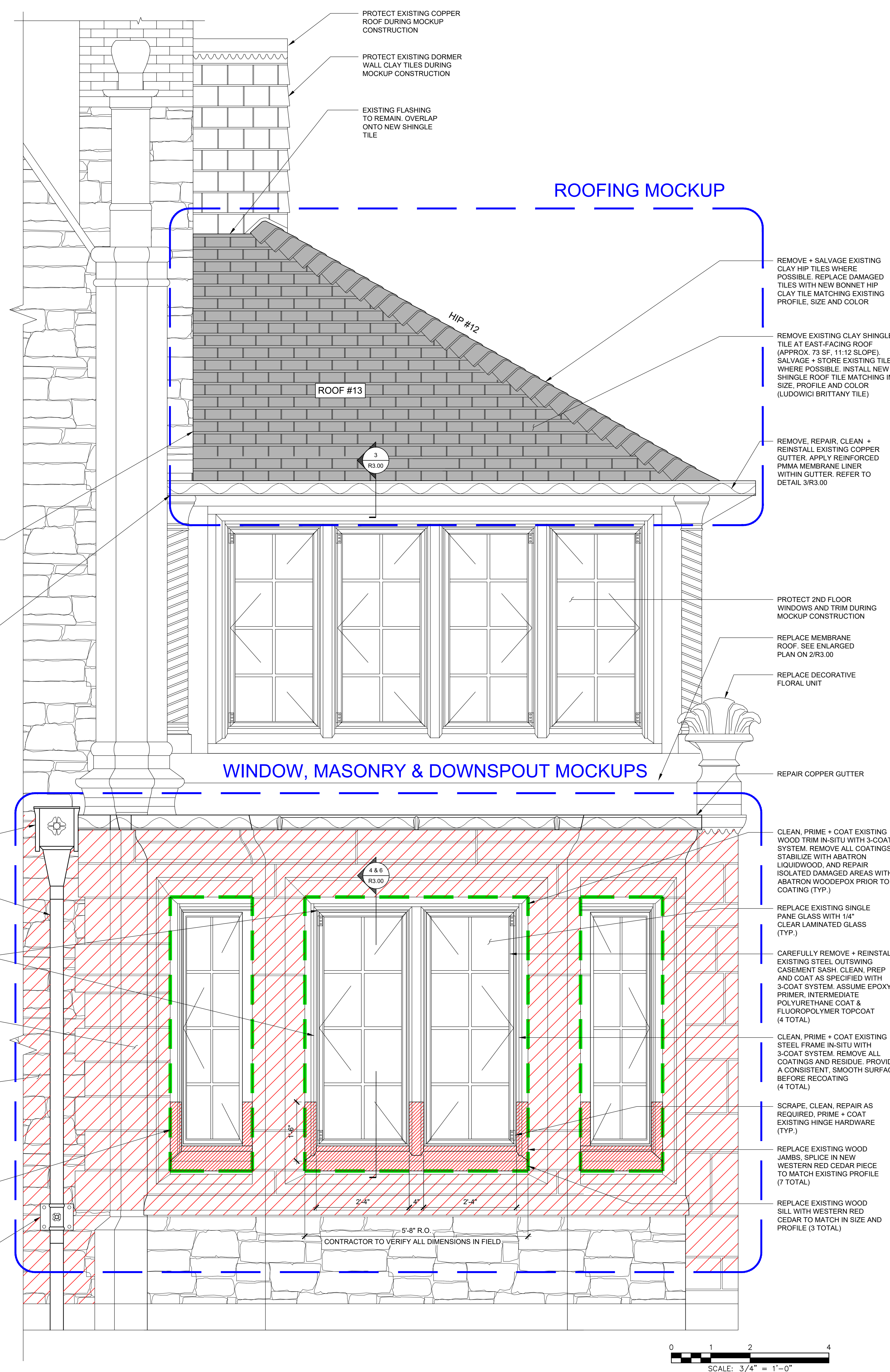
3 SECTION - COPPER GUTTER AT SLOPED ROOF
SCALE: 3"=1'-0"



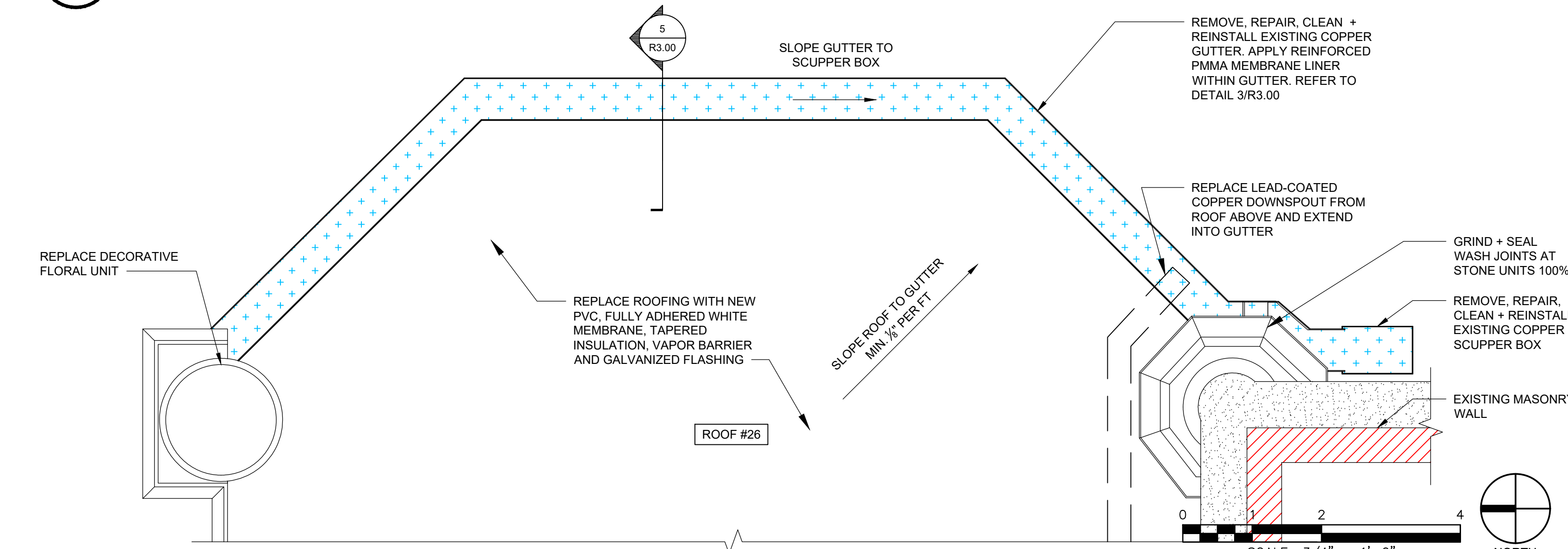
SECTION - RESTORED STEEL WINDOW WITH STORM



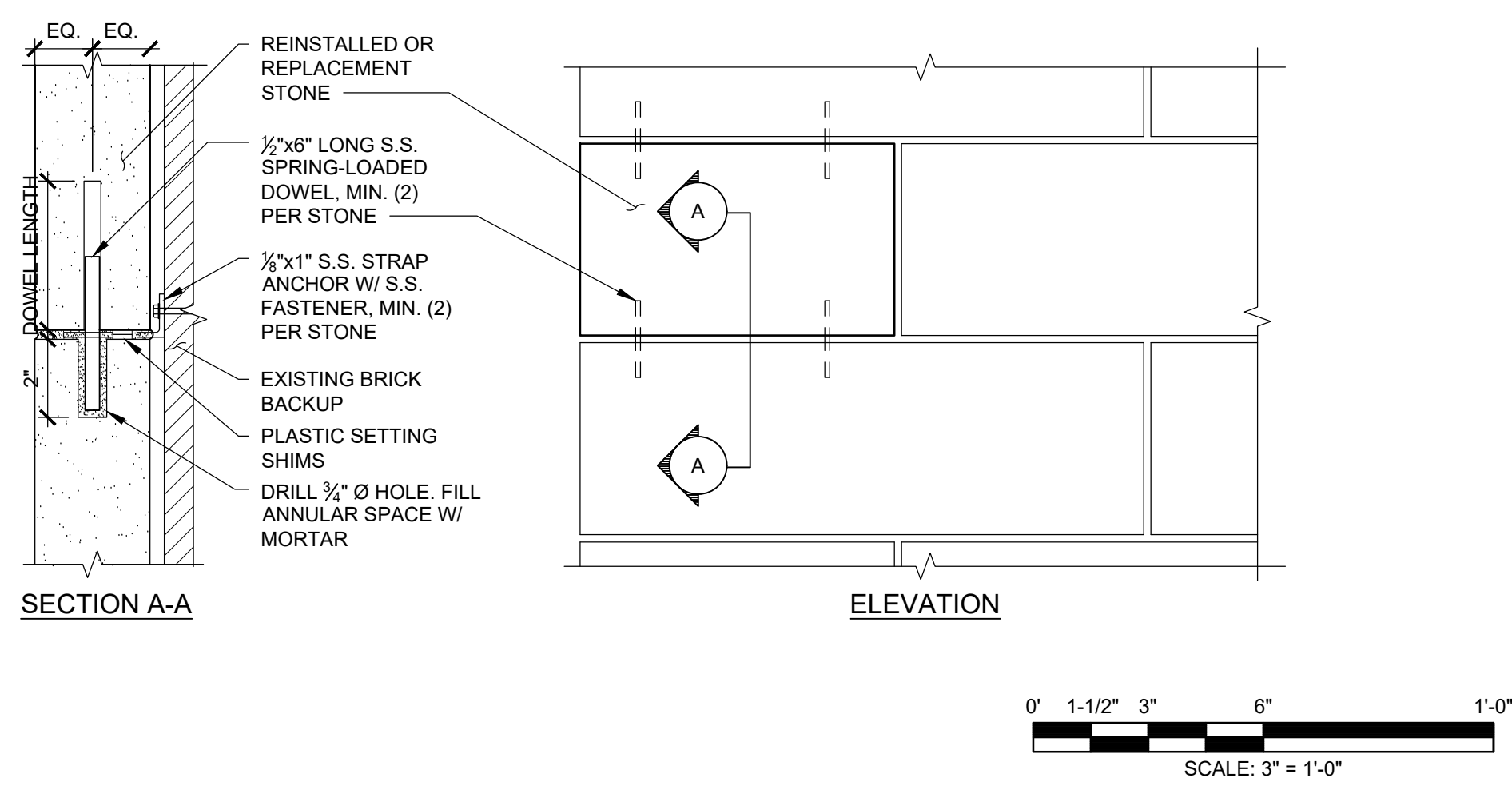
4 SECTION - EXISTING STEEL WINDOW



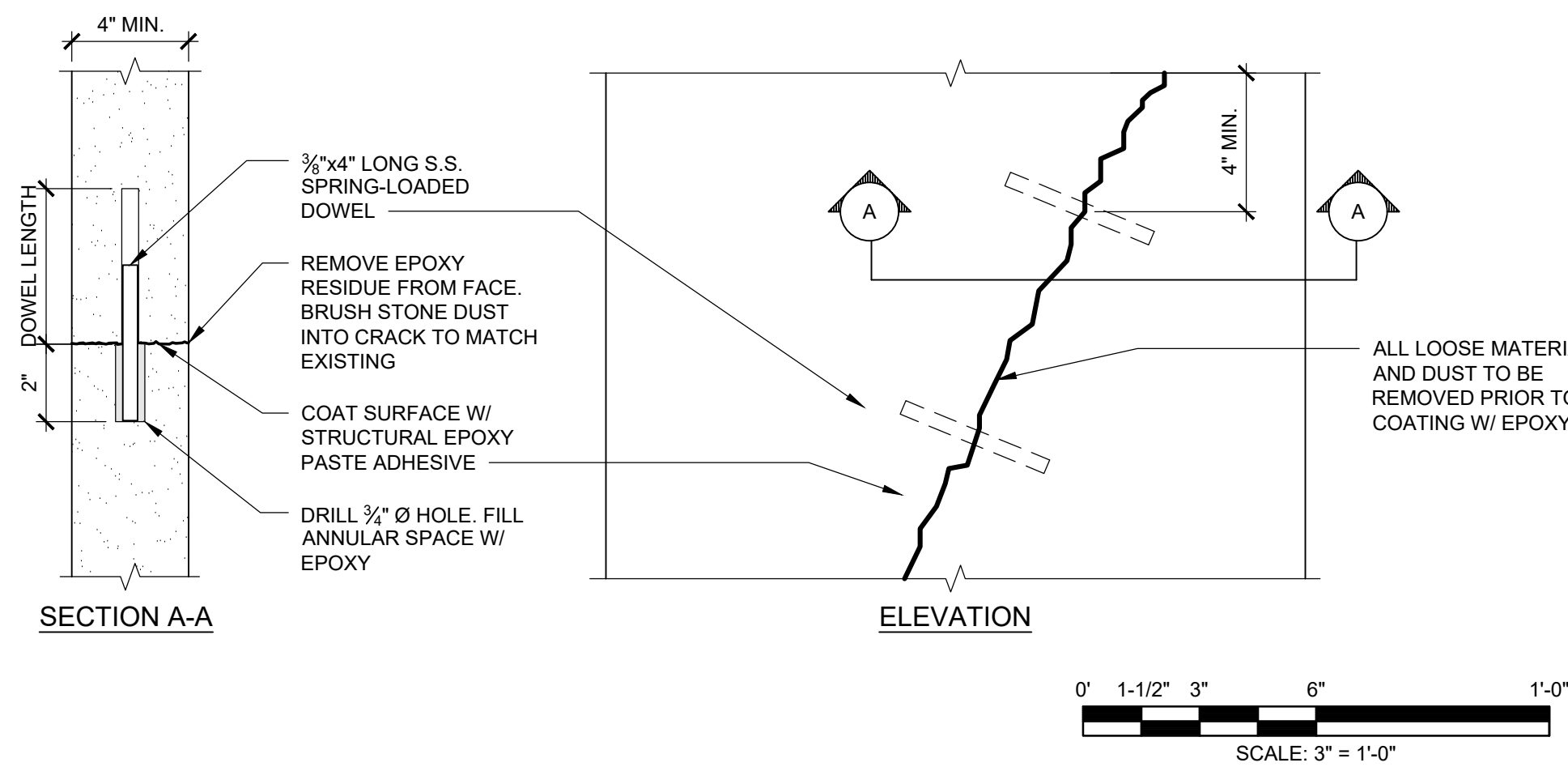
1 ENLARGED ELEVATION - EAST BAY WINDOW
SCALE: 3/4"=1'-0"



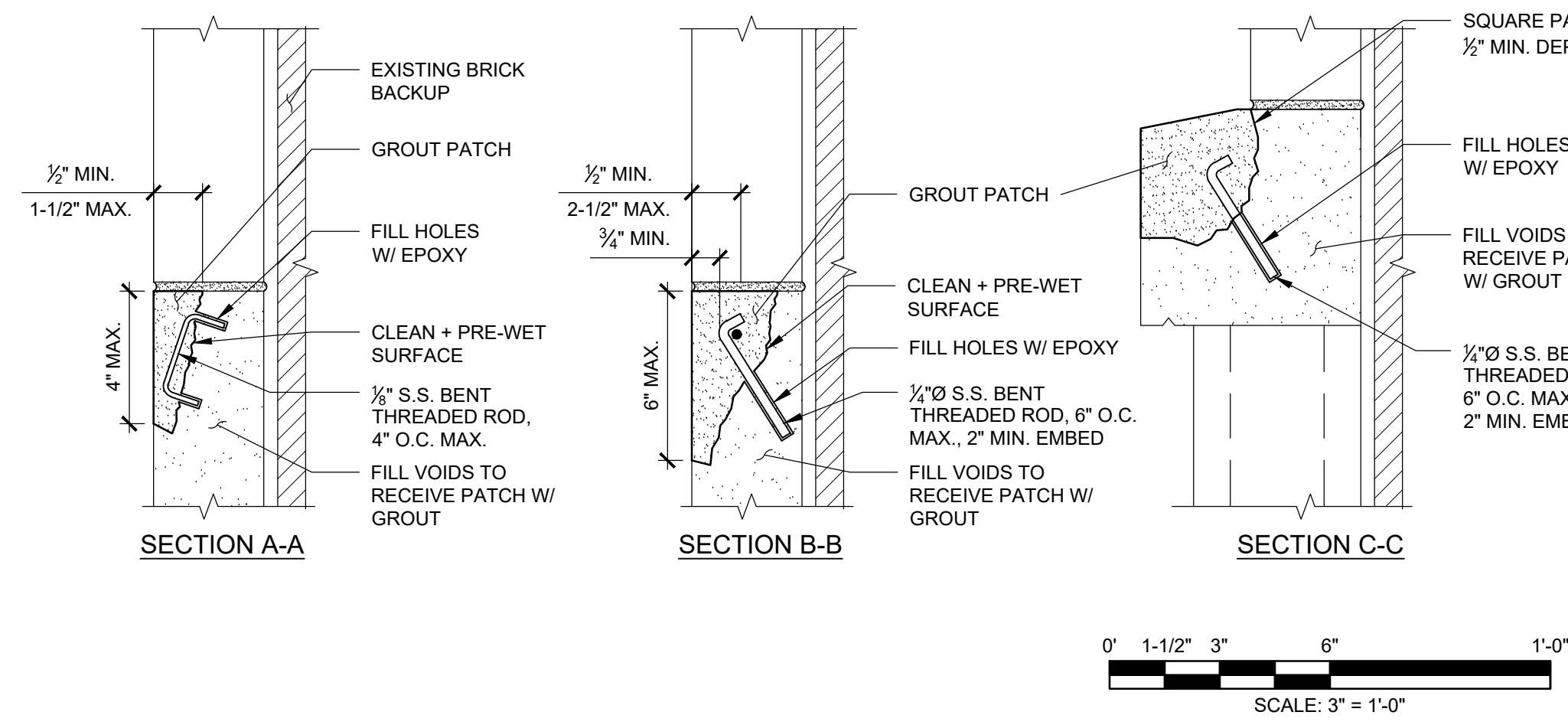
2 ENLARGED PARTIAL PLAN - EAST BAY WINDOW ROOF
SCALE: 3/4"=1'-0"



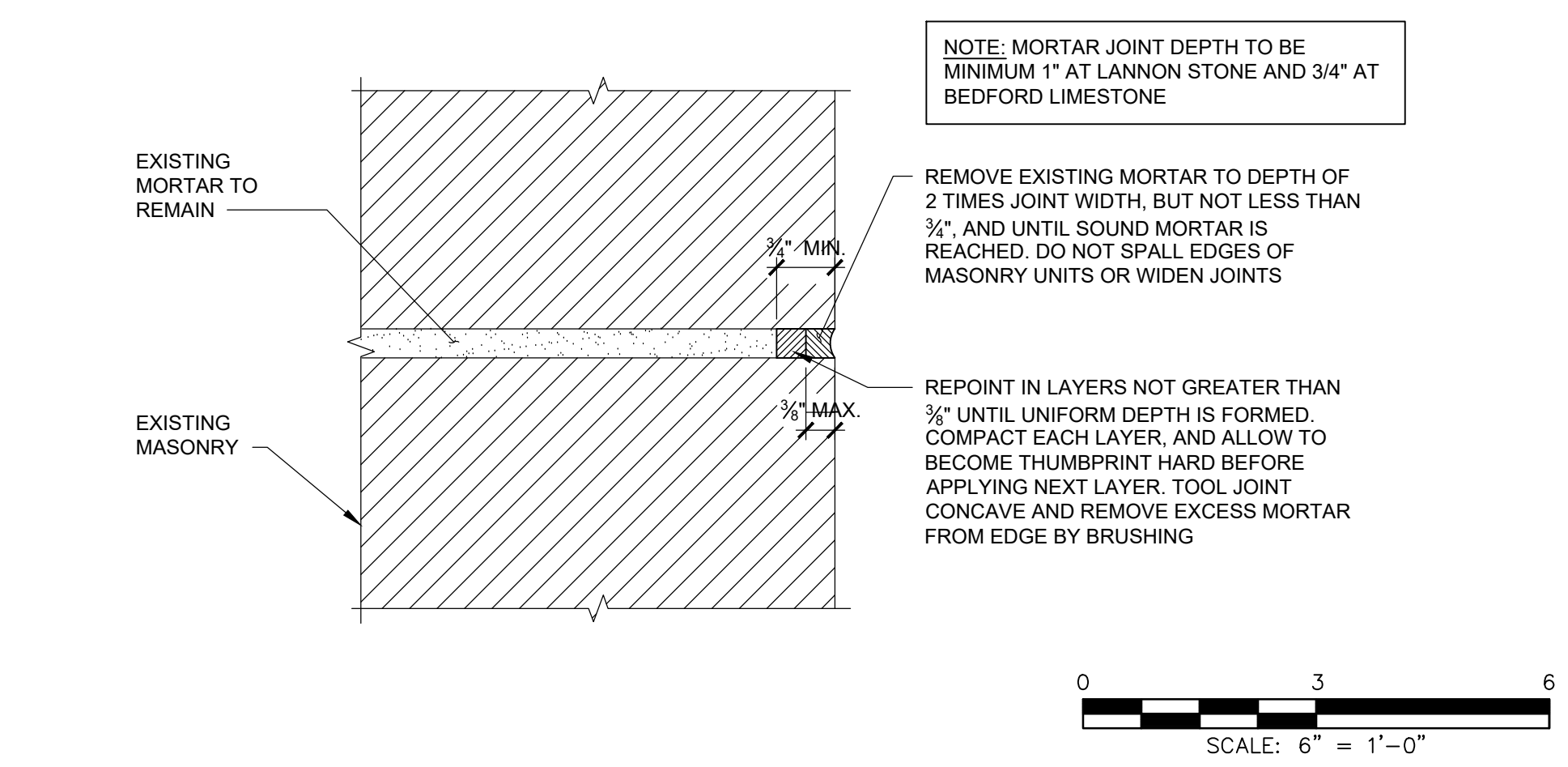
5 DETAIL - STONE UNIT REPLACEMENT
SCALE: 3/4"=1'-0"



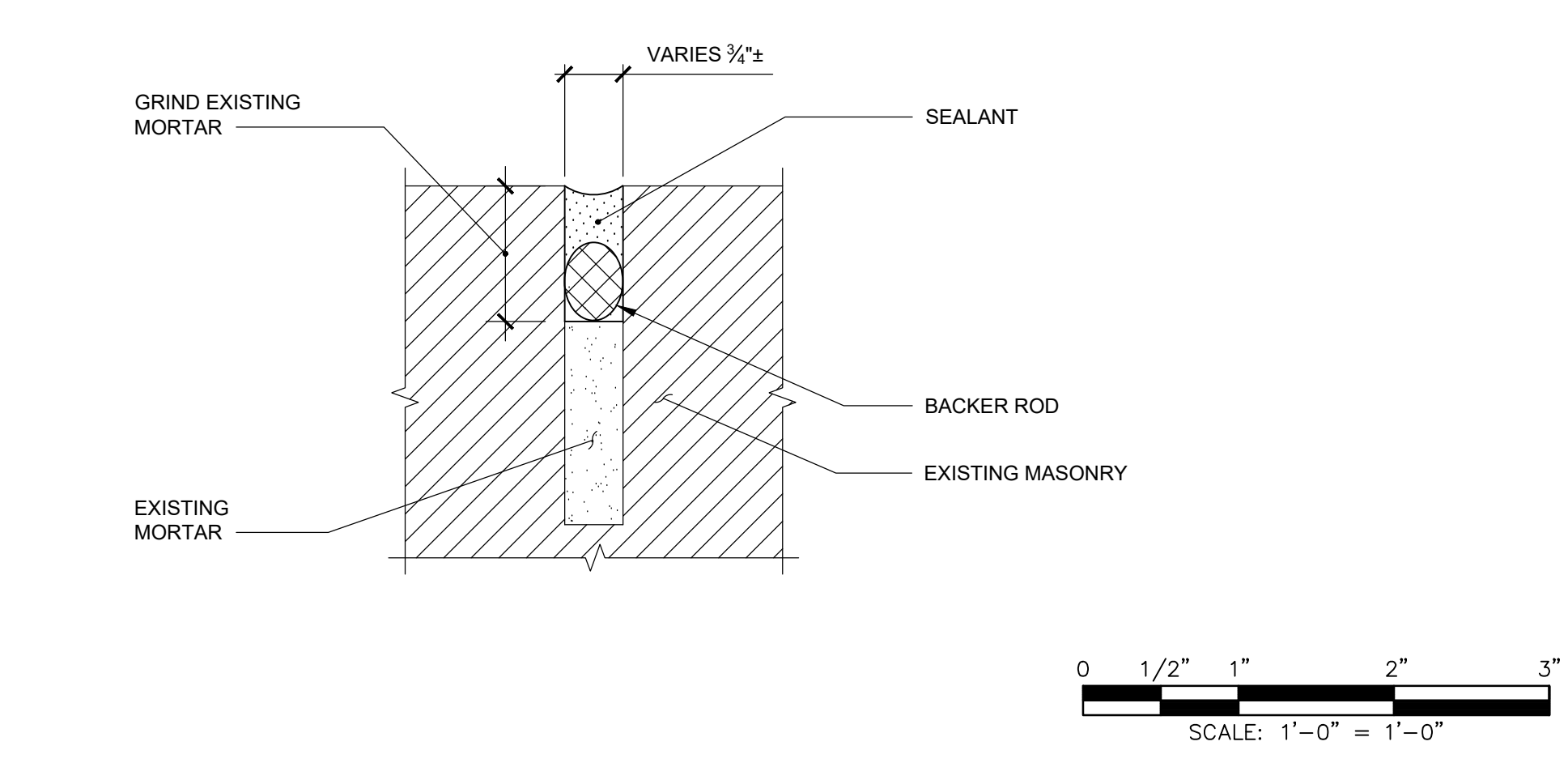
6 DETAIL - STONE UNIT REPAIR
SCALE: 3/4"=1'-0"



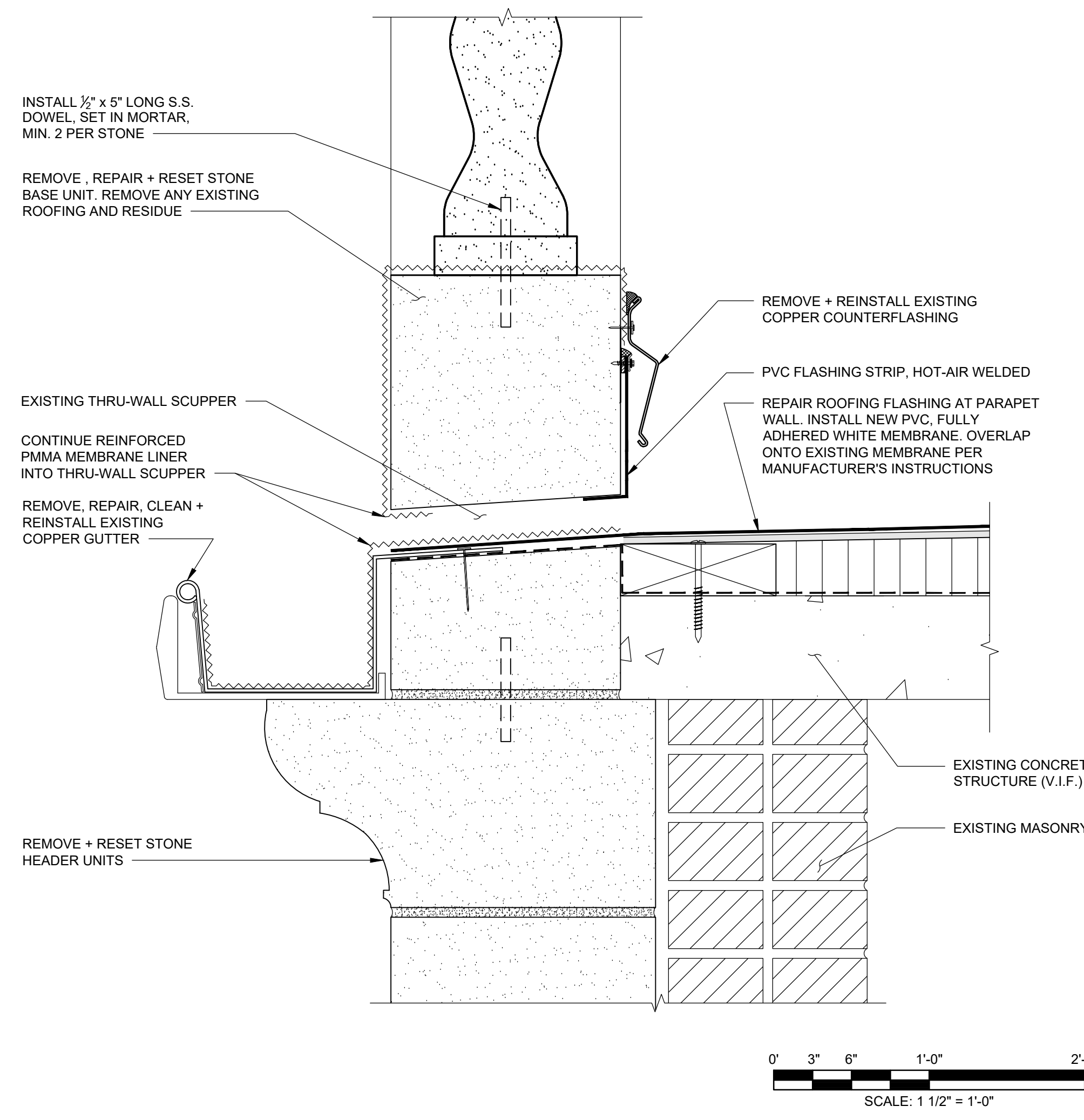
7 DETAIL - STONE PATCHING REPAIR
SCALE: 3/4"=1'-0"



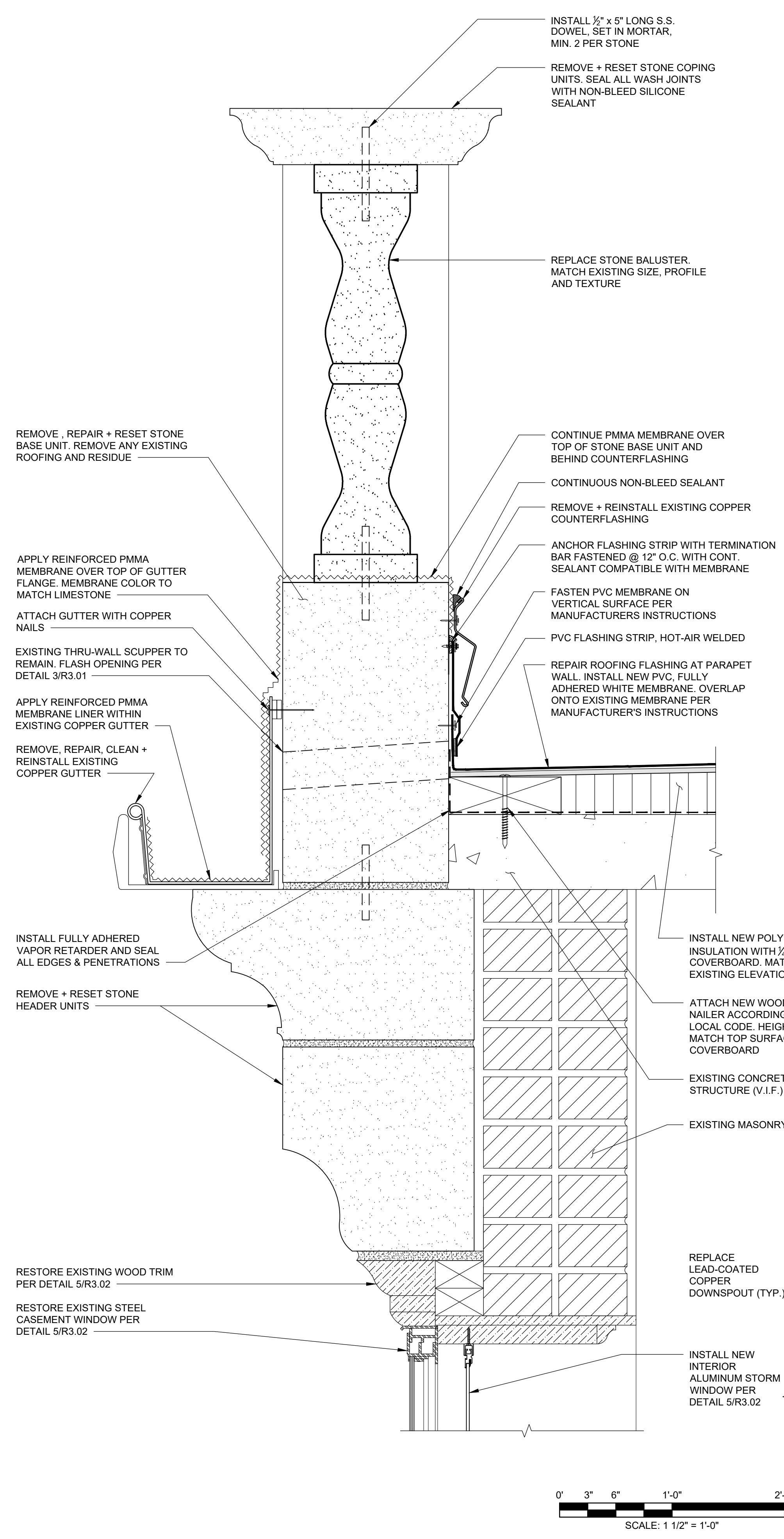
8 DETAIL - GRIND + REPOINT JOINTS
SCALE: 6"=1'-0"



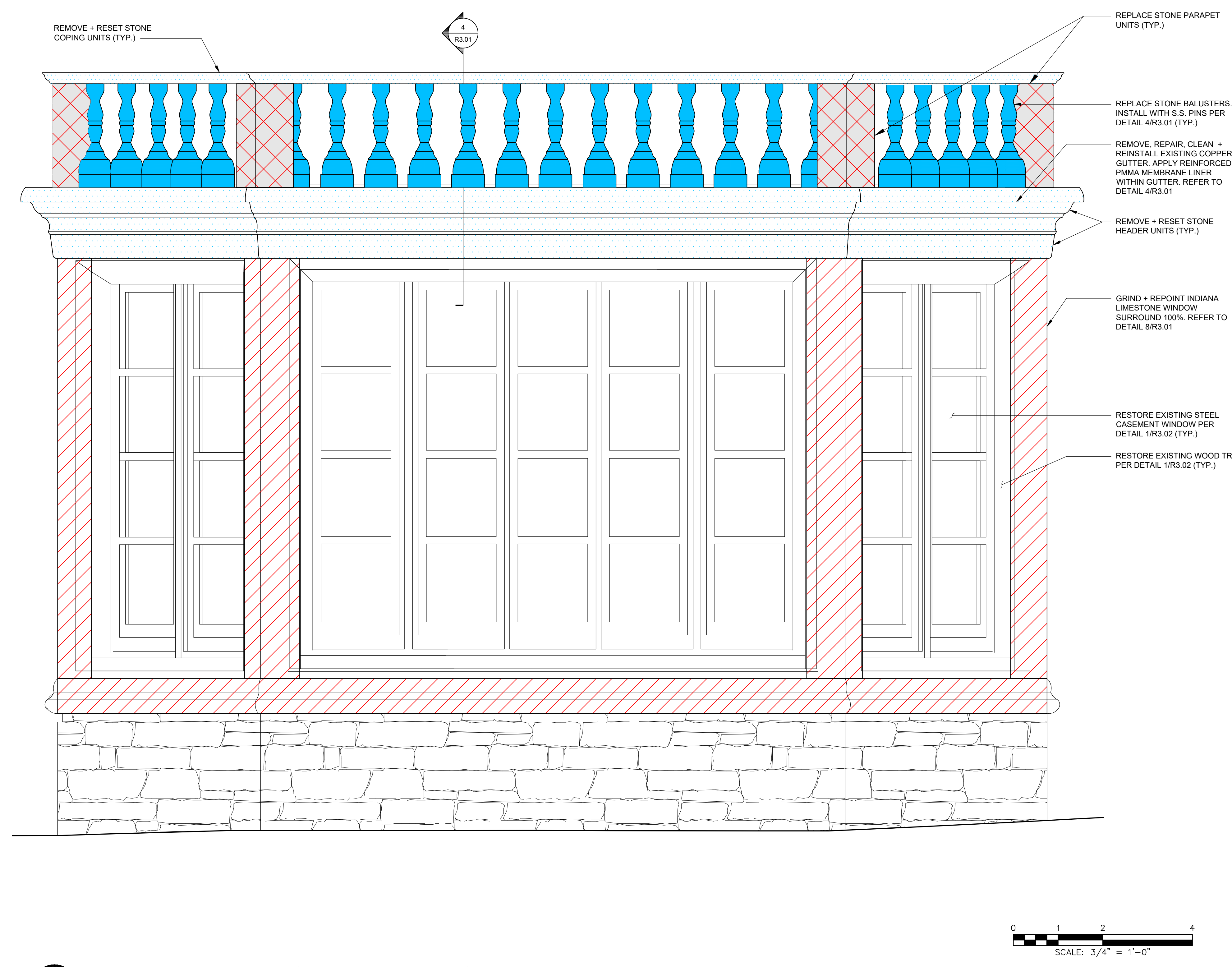
9 DETAIL - GRIND + SEAL JOINTS
SCALE: 1'-0"=1'-0"



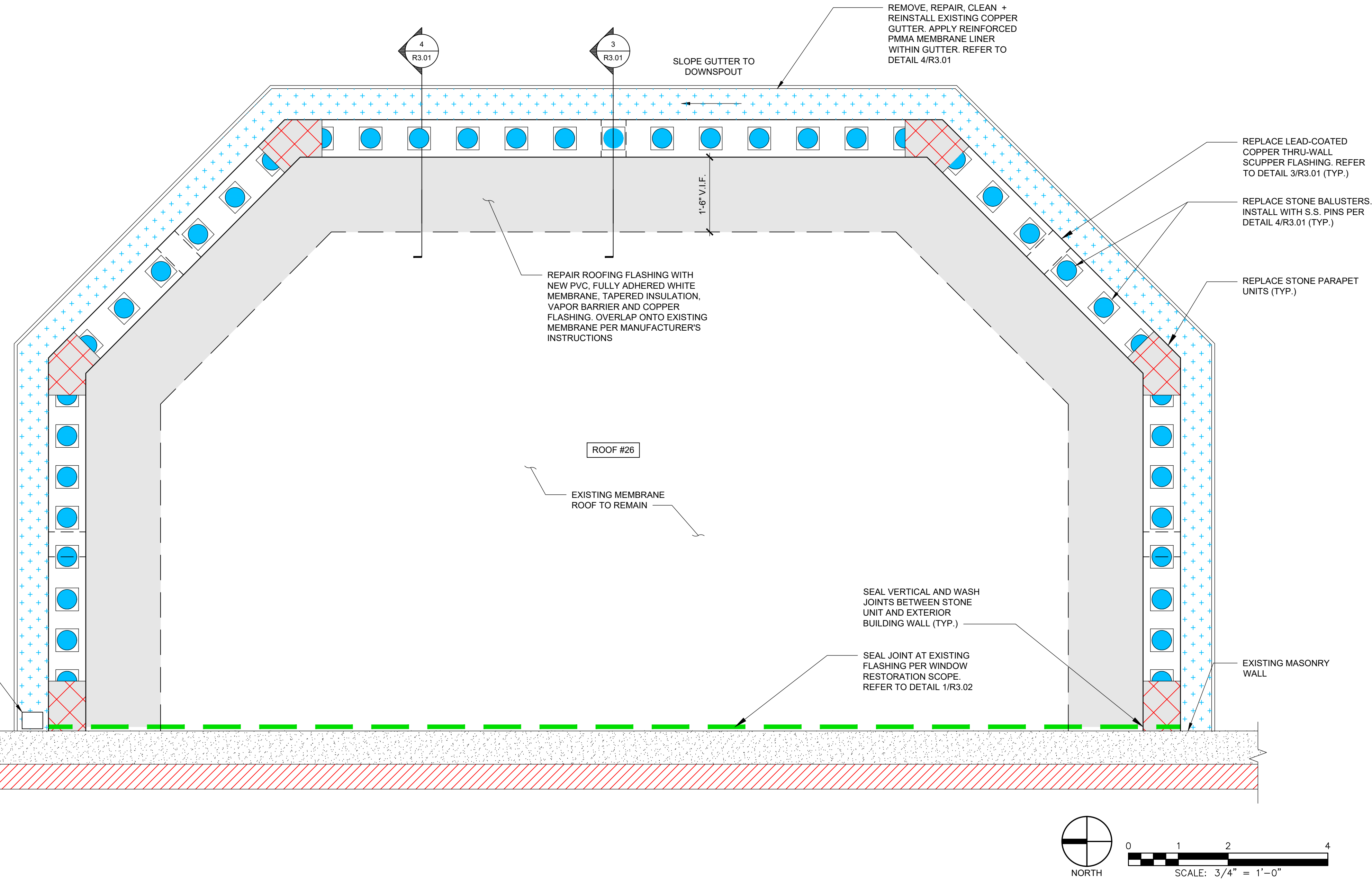
3 SECTION - THRU-WALL SCUPPER REPAIR
SCALE: 1'-1/2"=1'-0"



4 SECTION - PARAPET REBUILD
SCALE: 1'-1/2"=1'-0"



1 ENLARGED ELEVATION - EAST SUNROOM
SCALE: 3/4"=1'-0"



2 ENLARGED PLAN - EAST SUNROOM ROOF
SCALE: 3/4"=1'-0"

#	DESCRIPTION	DATE
01	HISTORIC TAX CREDIT	2026.06.05
02	CERT. OF APPROPRIATENESS	2026.06.17

PROFESSIONAL OF RECORD

LICENSE EXP: 11.30.2028

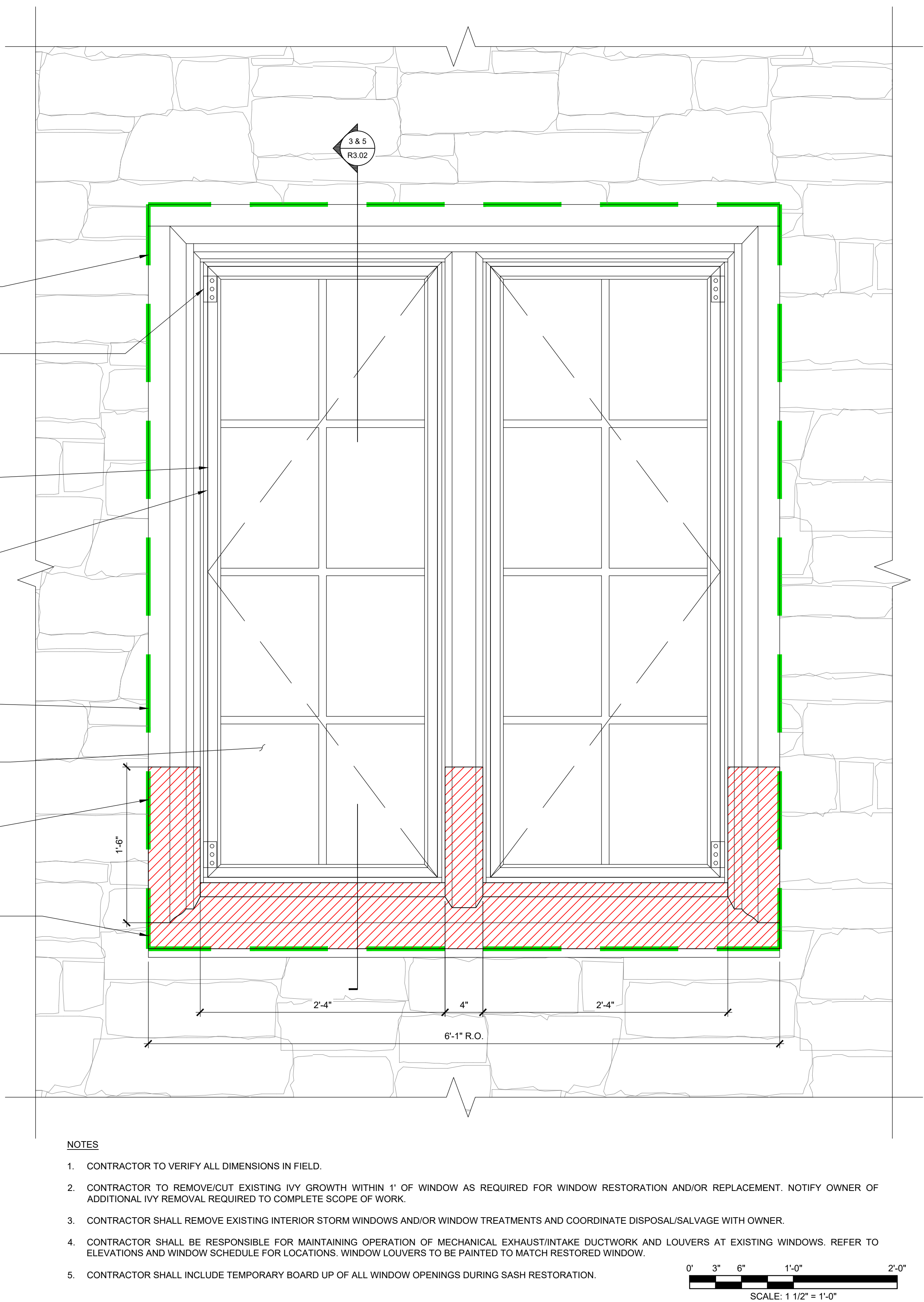
PROJECT NUMBER: 250401

SHEET NAME

MAIN HOUSE
WINDOWS -
ENLARGED
ELEVATIONS AND
SECTIONS

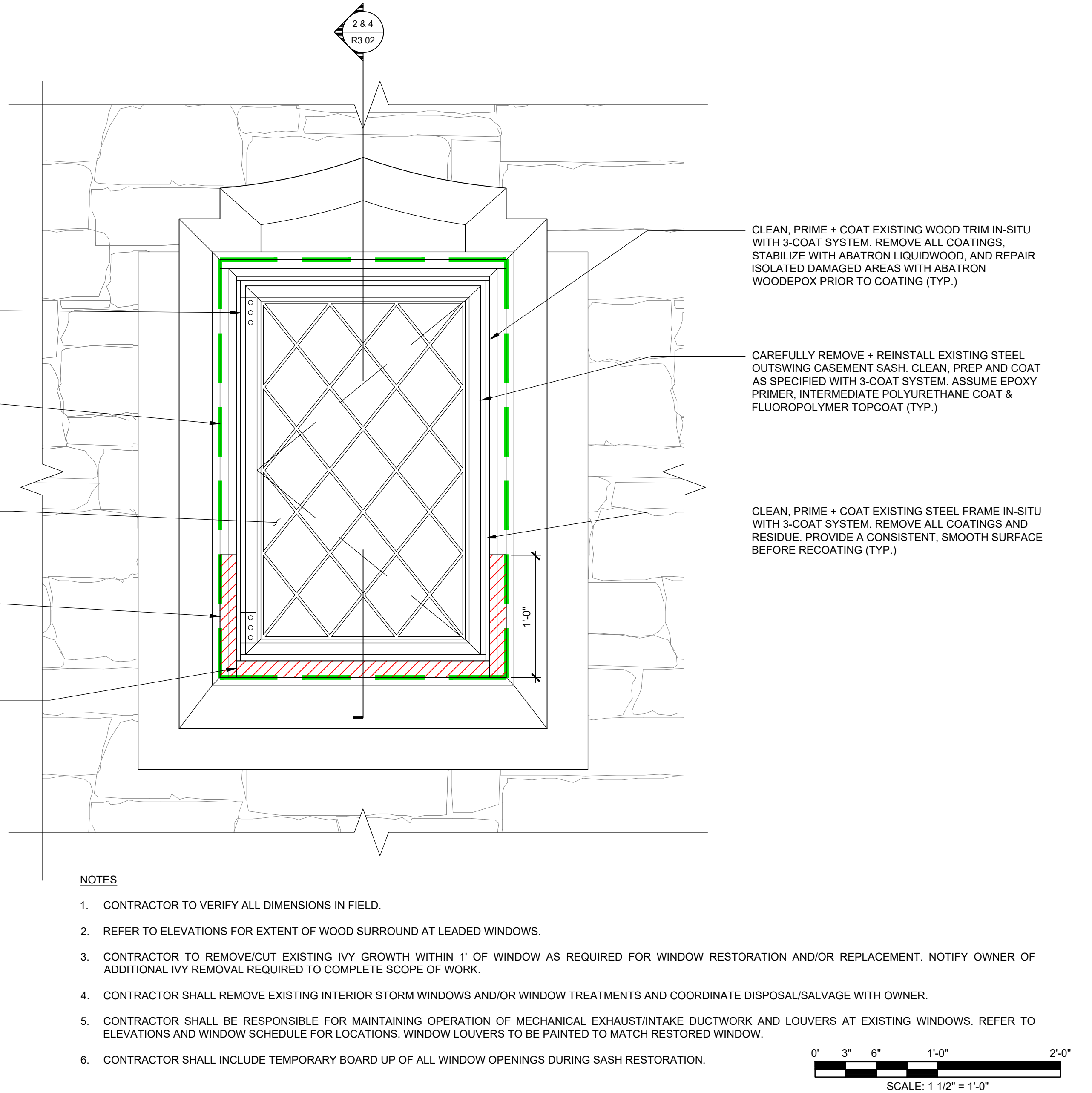
SHEET NUMBER

R3.02



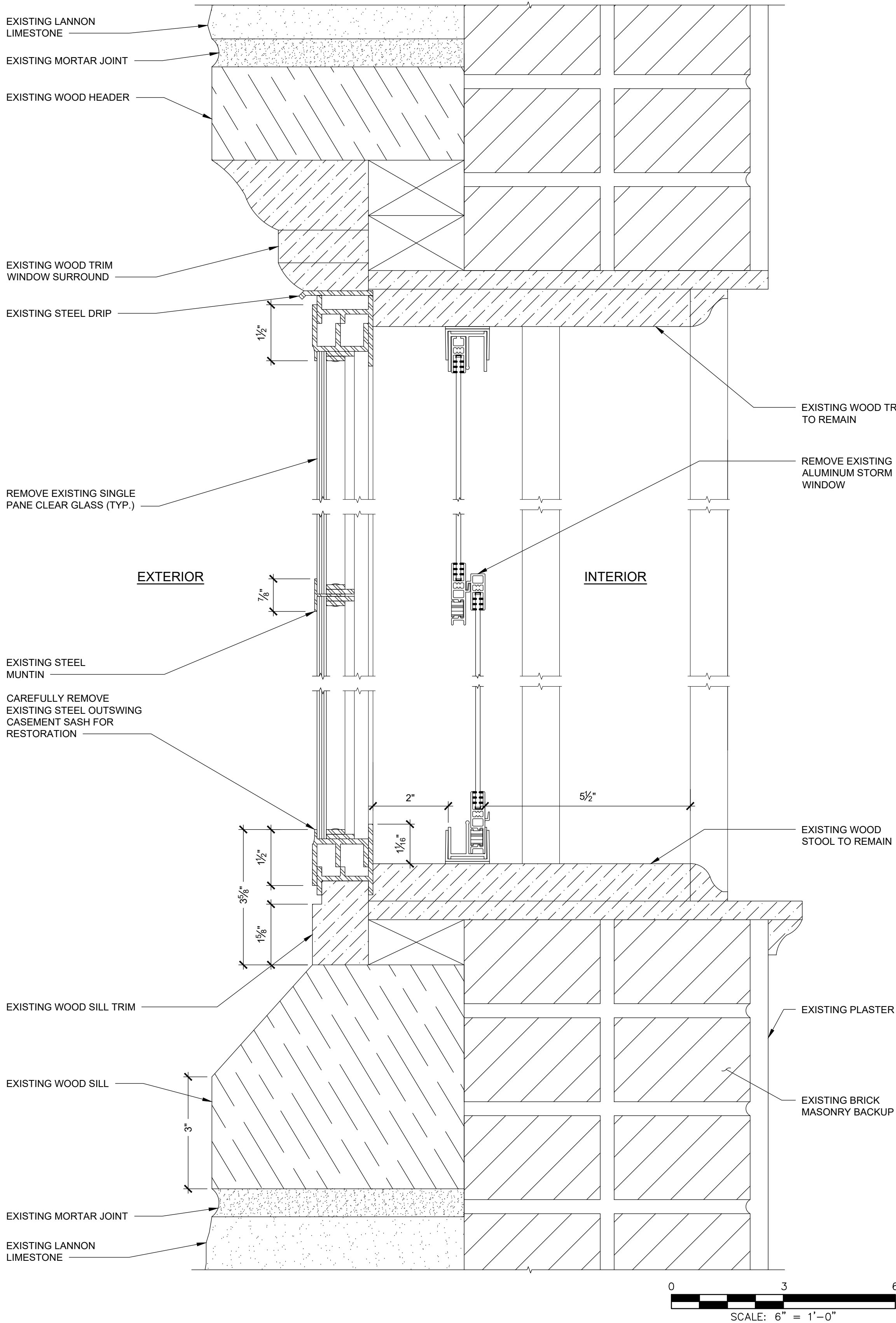
NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. CONTRACTOR TO REMOVE/CUT EXISTING IVY GROWTH WITHIN 1' OF WINDOW AS REQUIRED FOR WINDOW RESTORATION AND/OR REPLACEMENT. NOTIFY OWNER OF ADDITIONAL IVY REMOVAL REQUIRED TO COMPLETE SCOPE OF WORK.
3. CONTRACTOR SHALL REMOVE EXISTING INTERIOR STORM WINDOWS AND/OR WINDOW TREATMENTS AND COORDINATE DISPOSAL/SALVAGE WITH OWNER.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING OPERATION OF MECHANICAL EXHAUST/INTAKE DUCTWORK AND LOUVERS AT EXISTING WINDOWS. REFER TO ELEVATIONS AND WINDOW SCHEDULE FOR LOCATIONS. WINDOW LOUVERS TO BE PAINTED TO MATCH RESTORED WINDOW.
5. CONTRACTOR SHALL INCLUDE TEMPORARY BOARD UP OF ALL WINDOW OPENINGS DURING SASH RESTORATION.

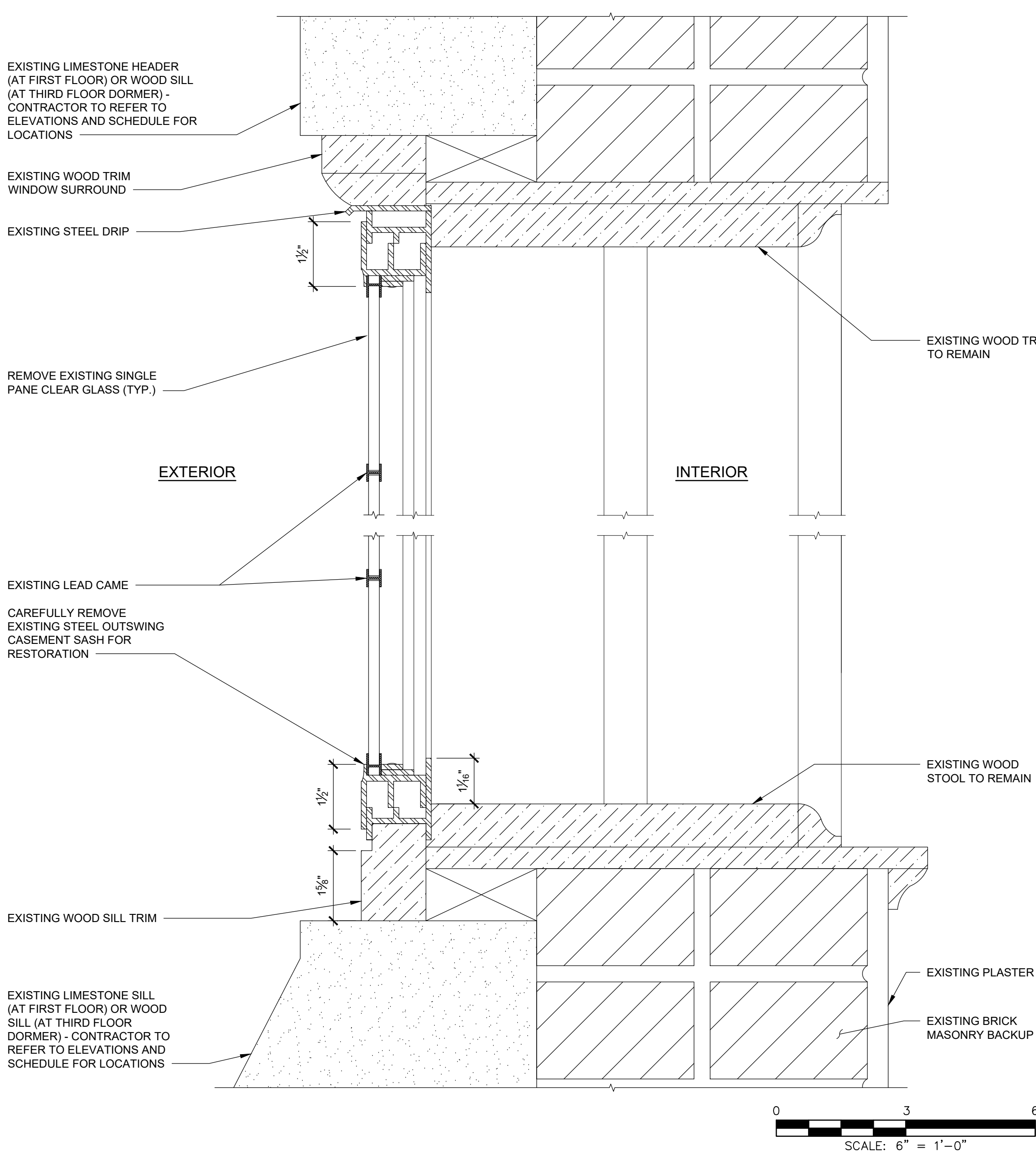


NOTES

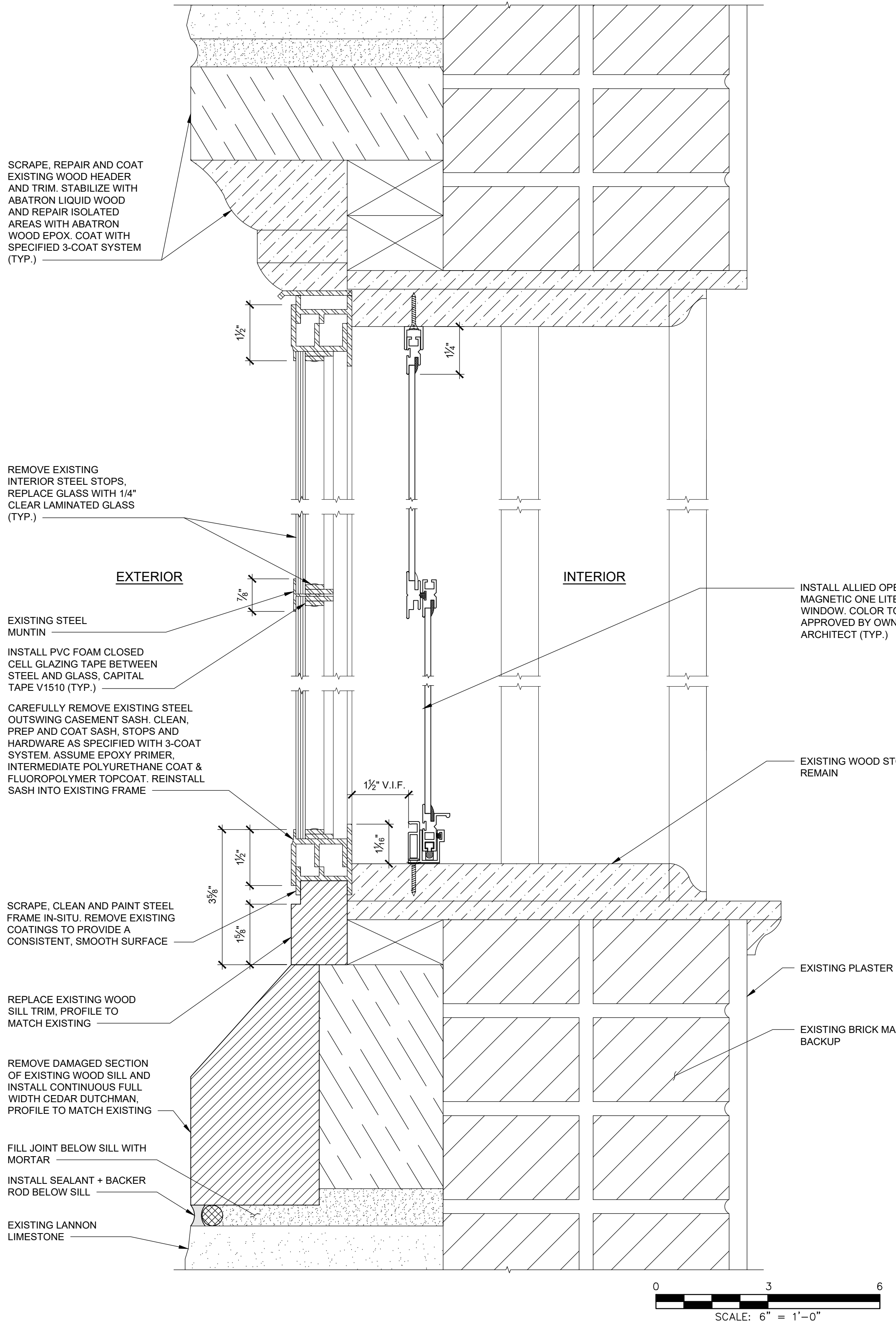
1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. REFER TO ELEVATIONS FOR EXTENT OF WOOD SURROUND AT LEADED WINDOWS.
3. CONTRACTOR TO REMOVE/CUT EXISTING IVY GROWTH WITHIN 1' OF WINDOW AS REQUIRED FOR WINDOW RESTORATION AND/OR REPLACEMENT. NOTIFY OWNER OF ADDITIONAL IVY REMOVAL REQUIRED TO COMPLETE SCOPE OF WORK.
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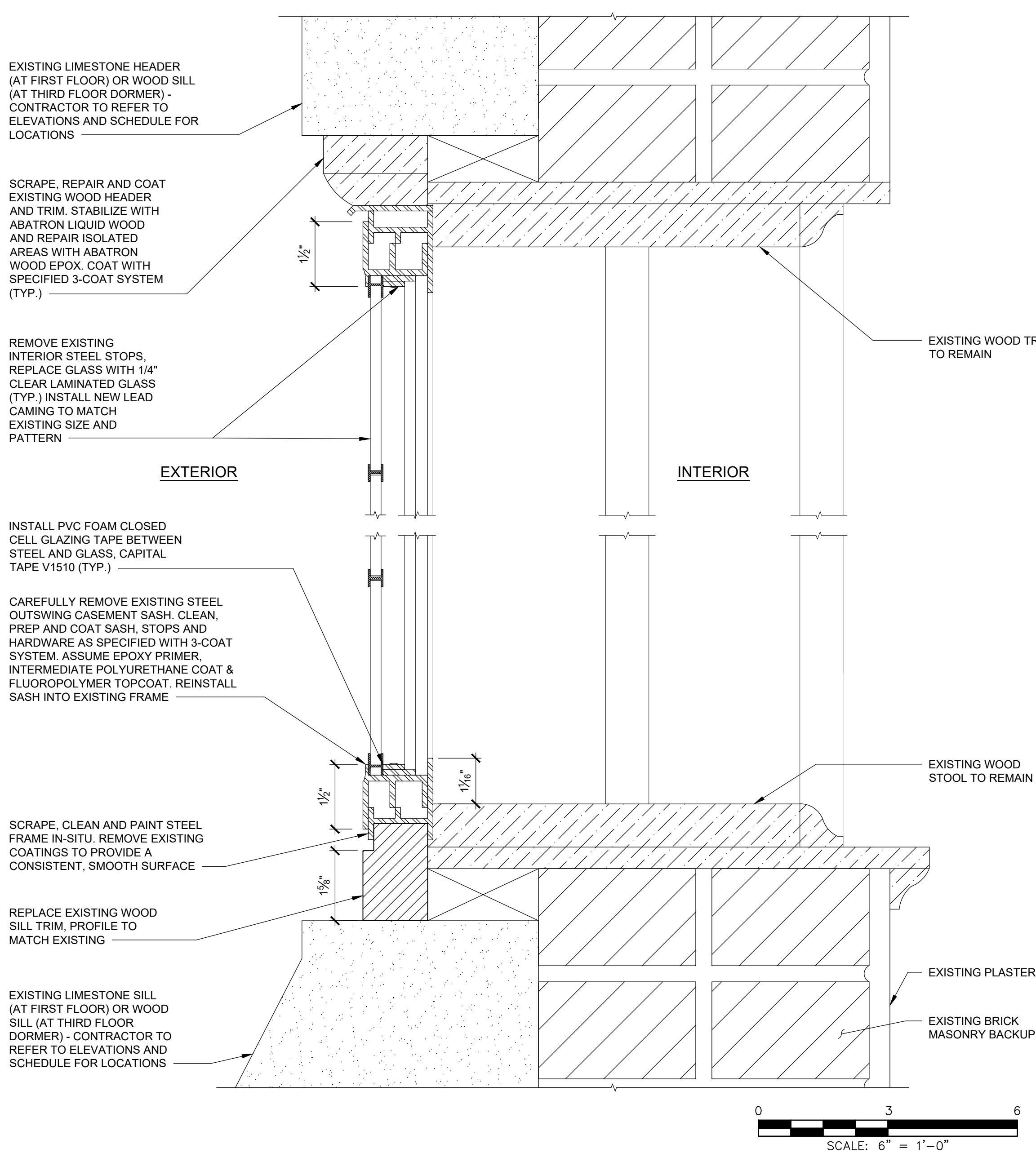
3 SECTION - EXISTING STEEL CASEMENT WINDOW
SCALE: 6"=1'-0"



4 SECTION - EXISTING LEADED GLASS WINDOW
SCALE: 6"=1'-0"



5 SECTION - RESTORED STEEL CASEMENT WINDOW
SCALE: 6"=1'-0"



6 SECTION - RESTORED LEADED GLASS WINDOW
SCALE: 1-1/2"=1'-0"

#	DESCRIPTION	DATE
01	HISTORIC TAX CREDIT	2026.06.05
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PROFESSIONAL OF RECORD

LICENSE EXP: 11.30.2026

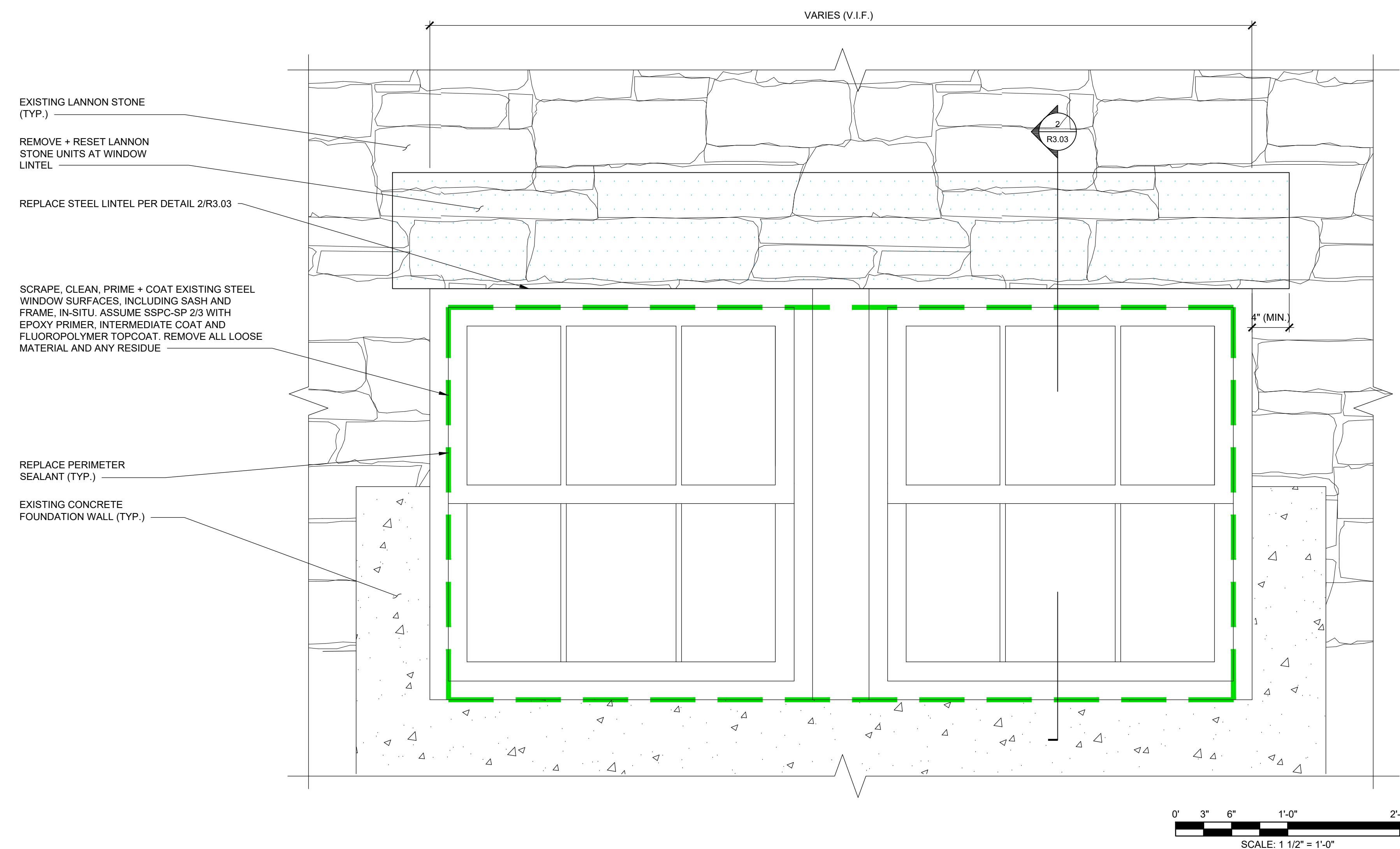
PROJECT NUMBER: 250401

SHEET NAME

MAIN HOUSE
WINDOWS -
ENLARGED
ELEVATION, PLAN
AND SECTIONS

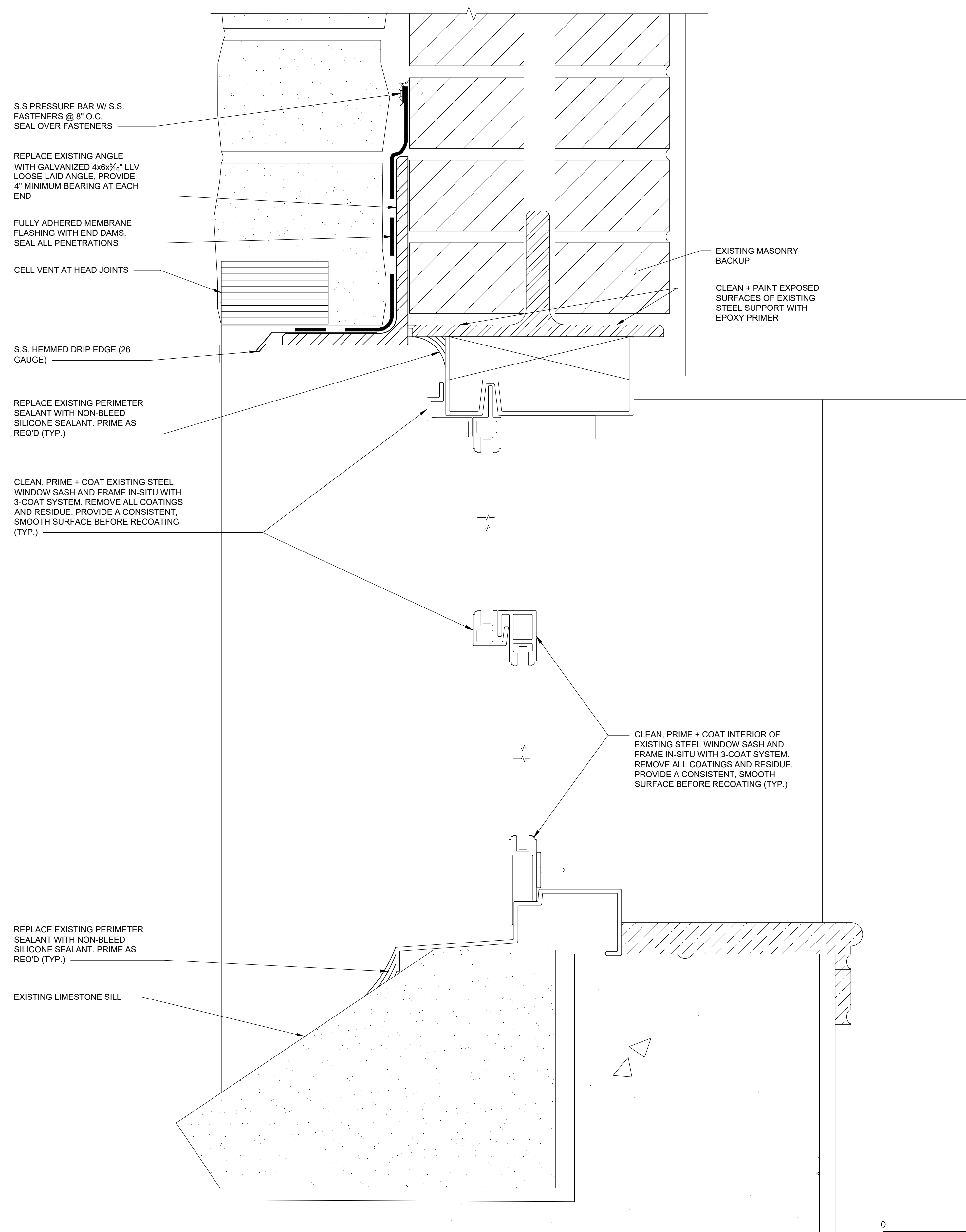
SHEET NUMBER

R3.03



1 ENLARGED ELEVATION - STEEL HUNG WINDOW

SCALE: 1/12"=1'-0"



2 SECTION - EXISTING STEEL HUNG WINDOW

SCALE: 6"=1'-0"

#	DESCRIPTION	DATE
01	HISTORIC TAX CREDIT	2026.06.05
02	CERT. OF APPROPRIATENESS	2026.06.17

PROFESSIONAL OF RECORD

LICENSE EXP: 11.30.2028

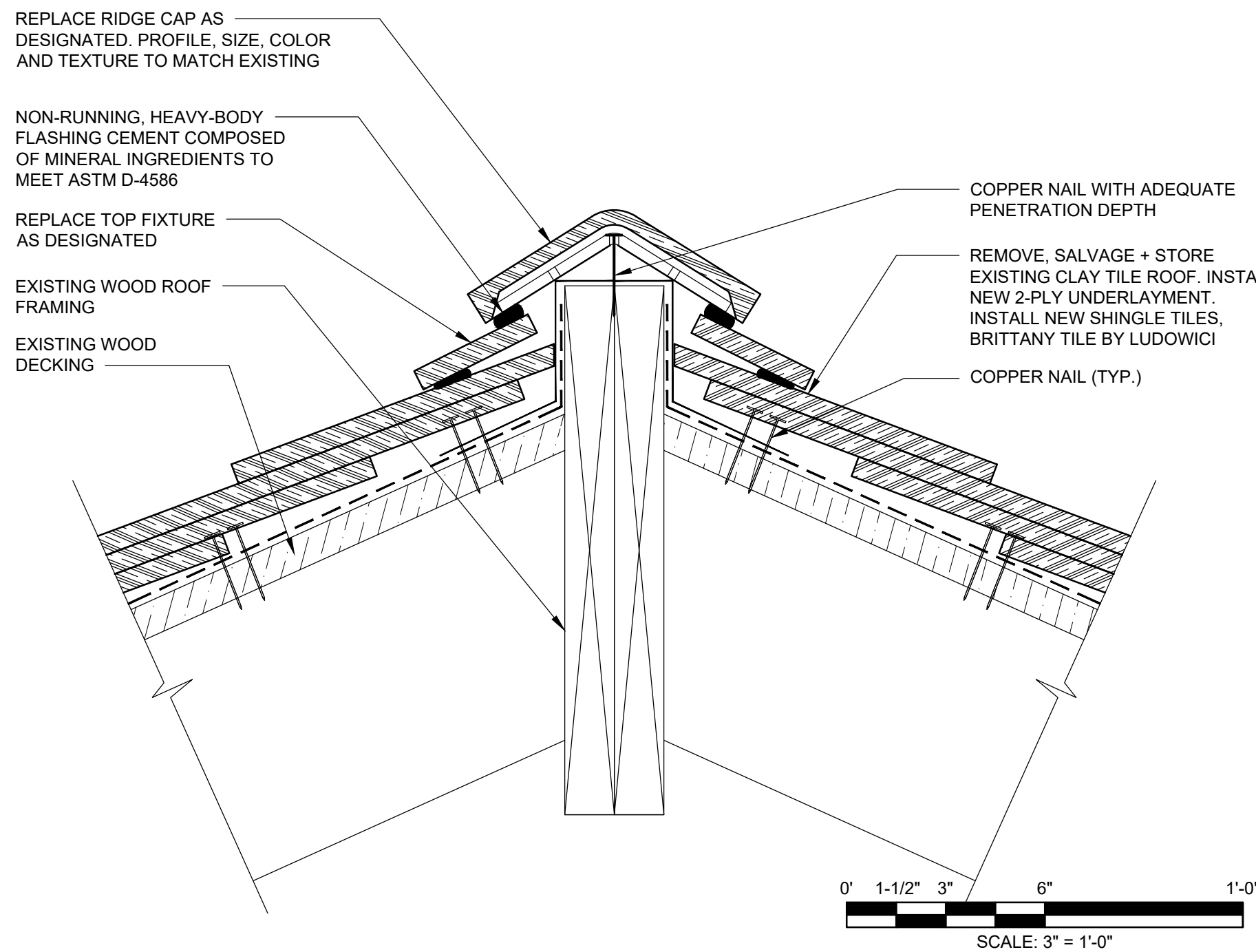
PROJECT NUMBER: 250401

SHEET NAME

MAIN HOUSE ROOF -
SECTIONS AND
DETAILS

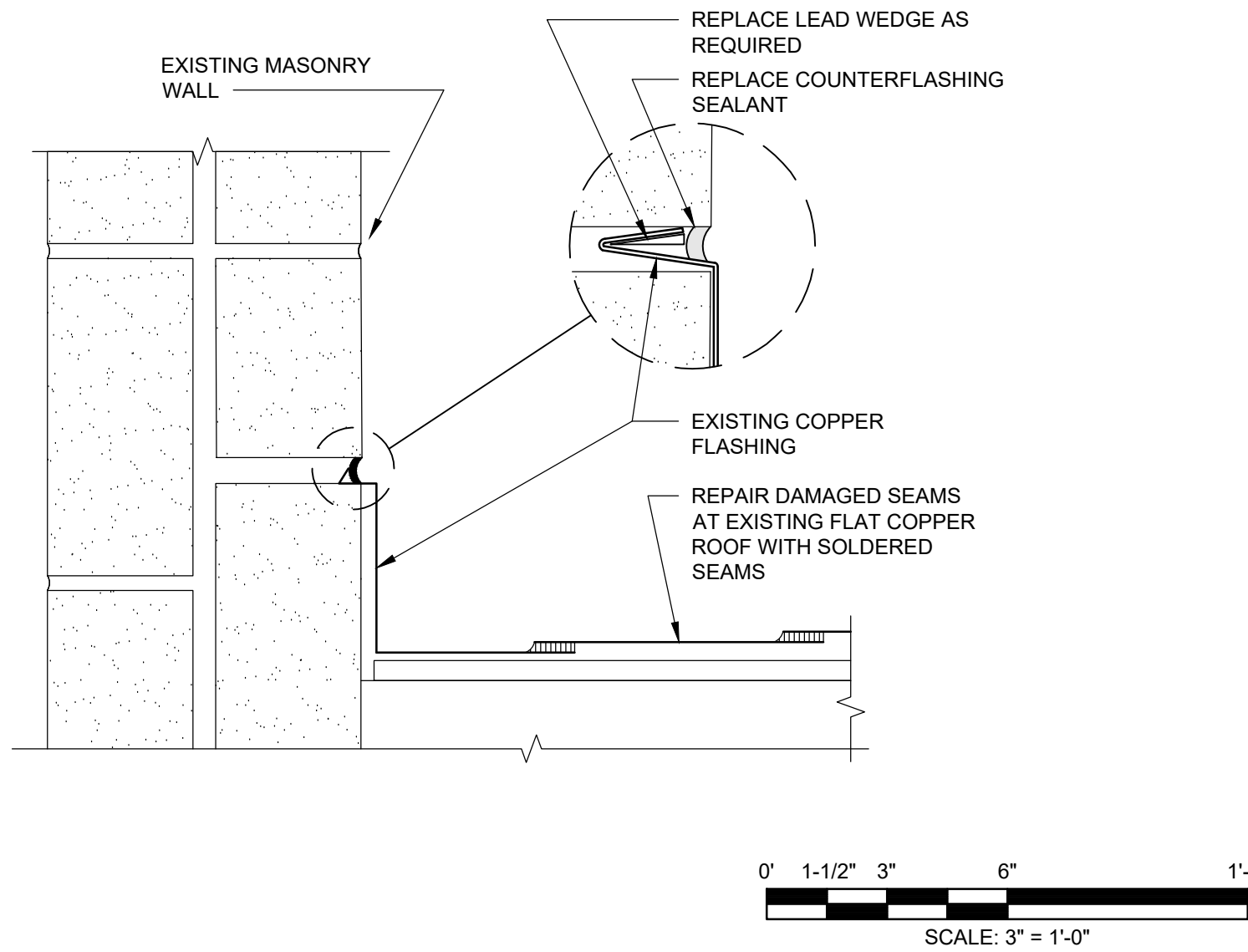
SHEET NUMBER

R3.04



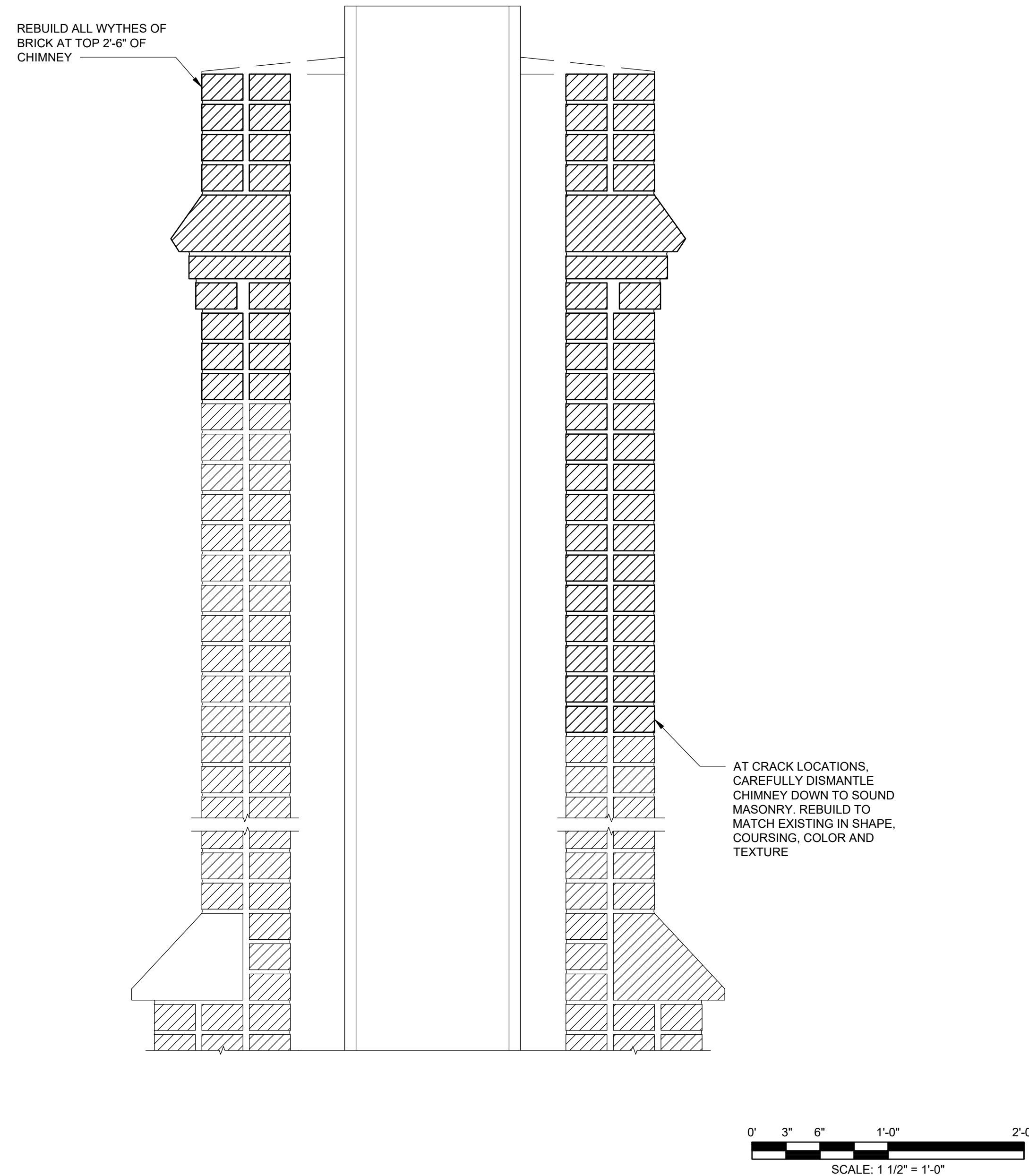
3 DETAIL - RIDGE UNIT REPLACEMENT

SCALE: 3"=1'-0"



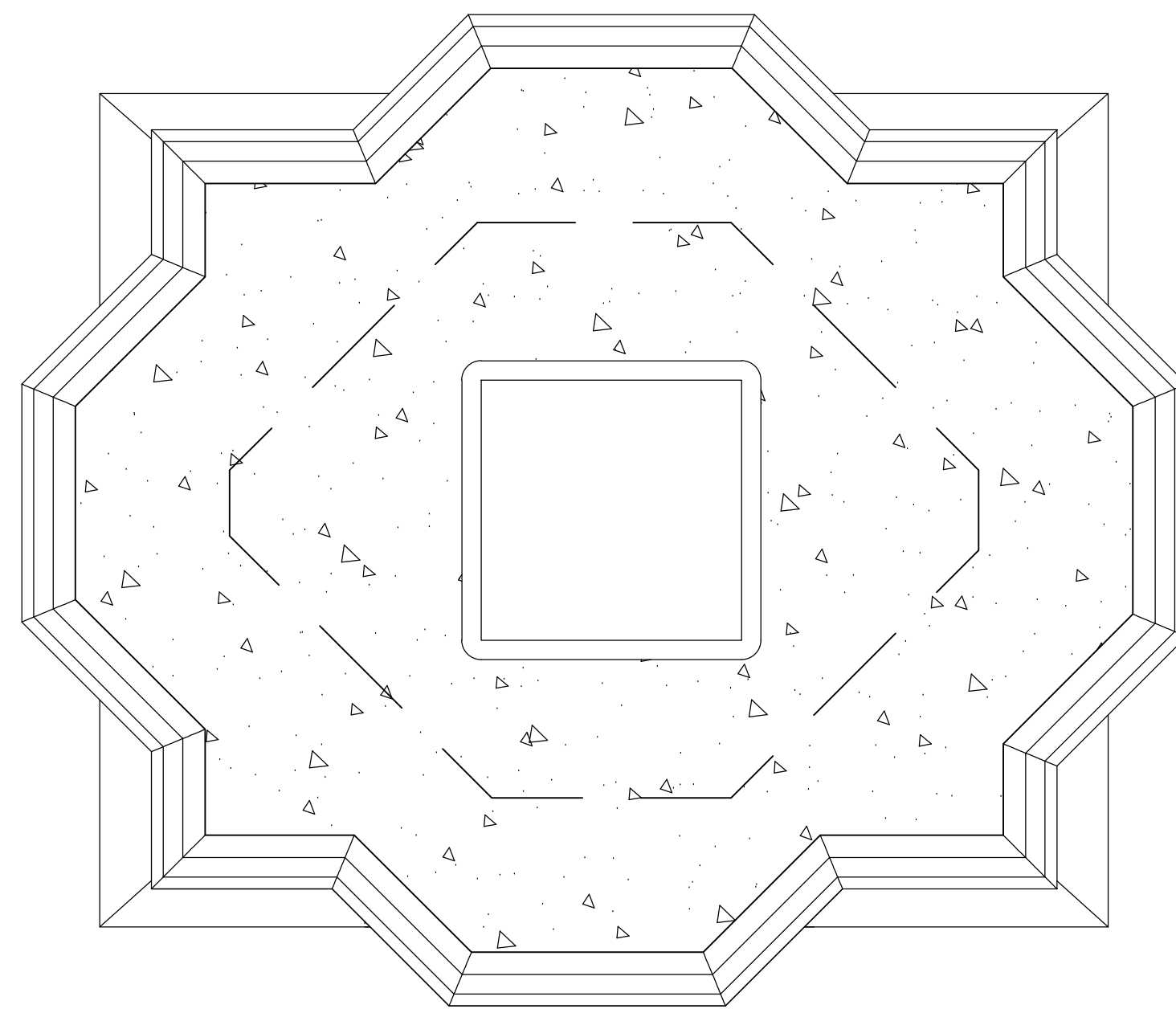
4 DETAIL - COPPER REGLET DETAIL

SCALE: 3"=1'-0"

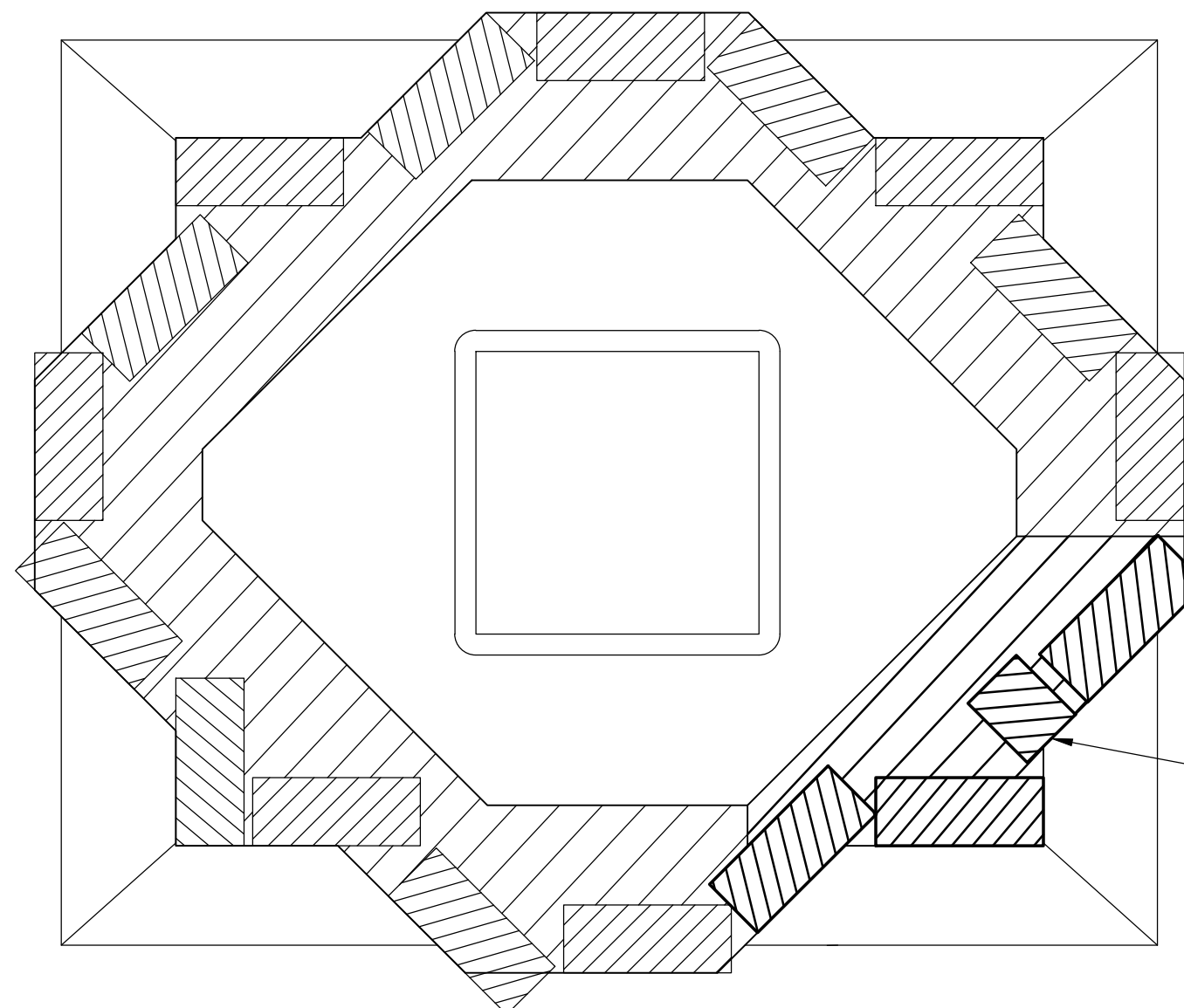


1 SECTION - NORTHEAST CHIMNEY REBUILD

SCALE: 1 1/2"=1'-0"



ROOF PLAN -
NORTHEAST CHIMNEY



SECTIONAL PLAN -
NORTHEAST CHIMNEY

0' 3' 6' 1'-0" 2'-0"
SCALE: 1 1/2"=1'-0"

2 ENLARGED PLAN - NORTHEAST CHIMNEY

SCALE: 1 1/2"=1'-0"

#	DESCRIPTION	DATE
01	HISTORIC TAX CREDIT	2026.06.09
02	CERT. OF APPROPRIATENESS	2026.06.17

PROFESSIONAL OF RECORD

LICENSE EXP: 11.30.2026

PROJECT NUMBER: 250401
SHEET NAME:

ROOF
SCHEDULE

SHEET NUMBER

R4.00

ROOF SCHEDULE - MAIN HOUSE							
PRIORITY	COMPONENT	TYPE	LOCATION	SCOPE	SLOPE	TOTAL AREA	NOTES
PRIORITY #5	ROOF #19	SHINGLE TILE	EAST	A	11:12	336 SF	BRITTANY TILE REPLACEMENT
	HIP #19.1	BONNET HIP					SALVAGE HIP. INSTALL NEW BONNET HIP REPLACEMENT MATCHING EXISTING
	HIP #19.2	BONNET HIP					
	ROOF #20	SHINGLE TILE	EAST / SOUTH-FACING VALLEY	A	18:12	50 SF	BRITTANY TILE REPLACEMENT
	RIDGE #20	ROUNDED RIDGE					SALVAGE RIDGE. INSTALL NEW ROUNDED RIDGE REPLACEMENT MATCHING EXISTING
	ROOF #21	SHINGLE TILE	EAST	A	11:12	583 SF	BRITTANY TILE REPLACEMENT
	RIDGE #21	COPPER FLASHING					
	VALLEY #21.1	CLOSED VALLEY					SALVAGE VALLEY. INSTALL NEW COPPER FLASHING
	VALLEY #21.2	CLOSED VALLEY					
	ROOF #22	SHINGLE TILE	EAST / NORTH-FACING VALLEY	A	18:12	54 SF	BRITTANY TILE REPLACEMENT
	RIDGE #22	ROUNDED RIDGE					SALVAGE RIDGE. INSTALL NEW ROUNDED RIDGE REPLACEMENT MATCHING EXISTING
	ROOF #23	COPPER	NORTHWEST	A	FLAT	120 SF	SOLDERED COPPER REPLACEMENT
	ROOF #24	COPPER	NORTHEAST	A	FLAT	92 SF	SOLDERED COPPER REPLACEMENT
	ROOF #25	COPPER	NORTH	A	FLAT	14 SF	SOLDERED COPPER REPLACEMENT
	ROOF #26	MEMBRANE	NORTHEAST	A	FLAT	157 SF	PVC MEMBRANE REPLACEMENT
	ROOF #27	MEMBRANE	EAST	C	FLAT	226 SF	FLASHING REPAIRS
	ROOF #28	MEMBRANE	EAST	C	FLAT	47 SF	FLASHING REPAIRS
	ROOF #29	MEMBRANE	EAST	B	FLAT	481 SF	REPAIR EXISTING MEMBRANE
	ROOF #30	MEMBRANE	SOUTHWEST	B	FLAT	32 SF	REPAIR EXISTING MEMBRANE

ROOF SCHEDULE - MAIN HOUSE							
PRIORITY	COMPONENT	TILE TYPE	LOCATION	SCOPE	SLOPE	TOTAL AREA	NOTES
PRIORITY #1	ROOF #1	SHINGLE TILE	WEST / FRONT	B	11:12	1458 SF	
	HIP #1.1	BONNET HIP					
	HIP #1.2	BONNET HIP					
	RIDGE #1	ROUNDED RIDGE					
	DORMER #1.1	ROOF + WALL	WEST / FRONT	B	14:12	45 SF	
	DORMER #1.2	ROOF + WALL	WEST / FRONT	B	14:12	23 SF	
	ROOF #2	SHINGLE TILE	WEST / ENTRY	B	11:5:12	204 SF	
	RIDGE #2	ROUNDED RIDGE					
	ROOF #3	SHINGLE TILE	WEST / VALLEY	B	12:12	38 SF	
	VALLEY #3	CLOSED VALLEY					
PRIORITY #2	RIDGE #2	ROUNDED RIDGE					CHANGE TO COPPER FLASHING
	ROOF #4	SHINGLE TILE	WEST / SOUTH-FACING VALLEY	B	12:12	322 SF	
	VALLEY #4	CLOSED VALLEY					
	RIDGE #4	COPPER FLASHING					
	ROOF #5	SHINGLE TILE	NORTHWEST CORNER / SOUTH-FACING	B	16:5:12	483 SF	
	RIDGE #5	ROUNDED RIDGE					
	ROOF #6	SHINGLE TILE	NORTHWEST CORNER / WEST-FACING	B	16:5:12	243 SF	
	HIP #6.1	BONNET HIP					
	HIP #6.2	BONNET HIP					
	RIDGE #6	ROUNDED RIDGE					
	DORMER #6	ROOF + WALL	NORTHWEST	B	14:12	34 SF	
	ROOF #7	SHINGLE TILE	NORTHWEST CORNER / NORTH-FACING	B	16:5:12	133 SF	
	DORMER #7	ROOF + WALL			12:12	25 SF	
	ROOF #8	SHINGLE TILE	NORTHWEST CORNER / NORTH-FACING	B	16:5:12	196 SF	
	HIP #8.1	BONNET HIP					
	HIP #8.2	BONNET HIP					
	ROOF #9	SHINGLE TILE	NORTHWEST CORNER / NORTH-FACING	B	16:5:12	281 SF	
	VALLEY #9.1	CLOSED VALLEY					
	VALLEY #9.2	CLOSED VALLEY					
	DORMER #9	ROOF + WALL	NORTHWEST	B	12:12	14 SF	
	ROOF #10	SHINGLE TILE	NORTHWEST CORNER / NORTH-FACING	B	12:12	294 SF	
	HIP #10.1	BONNET HIP					
PRIORITY #3A	HIP #10.2	BONNET HIP					
	RIDGE #10	COPPER FLASHING					
	GABLE #10	SHINGLE + RIDGE	NORTHWEST	B	16:12	57 SF	
	ROOF #11	SHINGLE TILE	NORTHEAST CORNER / NORTH-FACING	B	12:12	122 SF	
	VALLEY #11	CLOSED VALLEY					
	RIDGE #11	COPPER FLASHING					
	ROOF #12	SHINGLE TILE	NORTHEAST CORNER / NORTH-FACING	B	7:12	233 SF	
	HIP #12	BONNET HIP					
	RIDGE #12	COPPER FLASHING					DECORATIVE SCALLOP PATTERN
	DORMER #12	WALL ONLY	NORTHEAST	B	SEE ROOF #24		
PRIORITY #3B	ROOF #13	SHINGLE TILE	EAST	B	11:12	73 SF	
	ROOF #14	SHINGLE TILE	SOUTHWEST / SOUTH-FACING	B	18:12	341 SF	
	ROOF #15	SHINGLE TILE	SOUTHWEST CORNER / WEST-FACING	B	11:12	335 SF	
	HIP #15	BONNET HIP					
PRIORITY #4A	VALLEY #15	CLOSED VALLEY					
	ROOF #16	SHINGLE TILE	NORTHEAST CORNER / EAST-FACING	A	11:12	47 SF	BRITTANY TILE REPLACEMENT
	VALLEY #11	CLOSED VALLEY					SALVAGE VALLEY. INSTALL COPPER
	RIDGE #11	ROUNDED RIDGE					POSSIBLE SALVAGE
PRIORITY #4B	ROOF #17	SHINGLE TILE	NORTHEAST / NORTH-FACING	A	18:12	566 SF	BRITTANY TILE REPLACEMENT
	ROOF #18	SHINGLE TILE	SOUTHEAST CORNER / SOUTH-FACING	A	18:12	501 SF	BRITTANY TILE REPLACEMENT
	DORMER #18	ROOF + WALL			12:12	50 SF	SALVAGE WALL AND CLOSED VALLEY TILES. INSTALL COPPER ON DORMER WALLS & VALLEYS